

2500 PREP SHOP

TONY GRAHAM MOTORS INC.



#600 2500 PALLADIUM DR., OTTAWA, ON, K2V 1E2

PROJECT TEAM

CLIENT

TONY GRAHAM MOTORS INC.

A: #600 2500 Palladium Dr., Ottawa, ON, K2V 1E2
T: 613 271 8200

CONTRACTOR

PRITEC MANAGEMENT

A: 2755 Carp Rd, Carp, ON K0A 1L0
T: 613 839 3462

ARCHITECT

VANDEMBERG & WILDEBOER ARCHITECTS

A: 160 Flamborough Way, Ottawa, ON, K2K 3H9
T: 613 287 0144

STRUCTURAL

CUNLIFFE & ASSOCIATES

A: 200-1550 Carling Ave., Ottawa, ON, K1Z 8S8
T: 613 729 7242

MECHANICAL & ELECTRICAL

PROENG CONSULTING INC.

A: 399 Bayrose Dr., Ottawa, ON, K2J 5R5
T: 613 843 0065

CIVIL

DOUGLAS B. GRAY ENGINEERING INC.

A: 700 Long Point Circle, Ottawa, ON, K1T 4E9
T: 613 425 8044

LANDSCAPE

JAMES B. LENNOX & ASSOCIATES INC.

A: 3323 Carling Ave., Ottawa, ON, K2H 5A8
T: 613 722 5168

SURVEYOR

FARLEY, SMITH & DENIS SURVEYING LTD.

A: 275-30 Colonnade Rd. N., Ottawa, ON, K2E 7J6
T: 613 727 8226

NO.	REVISION	DATE
1	ISSUED FOR CLIENT REVIEW	MAR 31, 2025
2	ISSUED FOR 33% SET	MAY 14, 2025
3	REISSUED FOR SITE PLAN APPLICATION	JUN 25, 2025

CONSTRUCTION

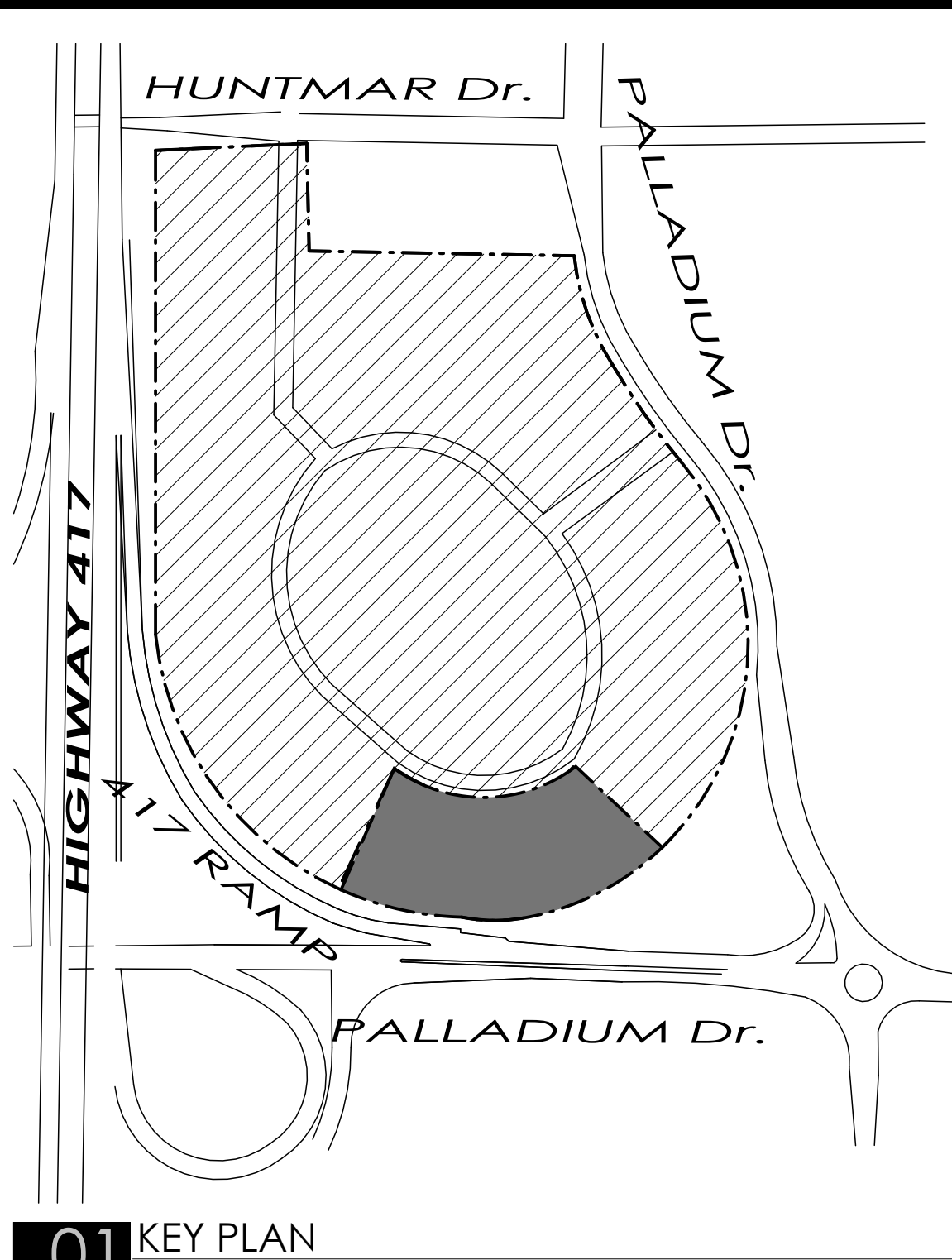


PROJECT TITLE:
TONY GRAHAM 2500 PREP SHOP
UNIT 4, 2500 PALLADIUM DRIVE, OTTAWA, ON, K2V 1E2

DRAWING TITLE:
COVER SHEET

DESIGNED BY: MW
DRAWN BY: DV
START DATE: 2025-02-13
SCALE:
PROJECT NO. 2512

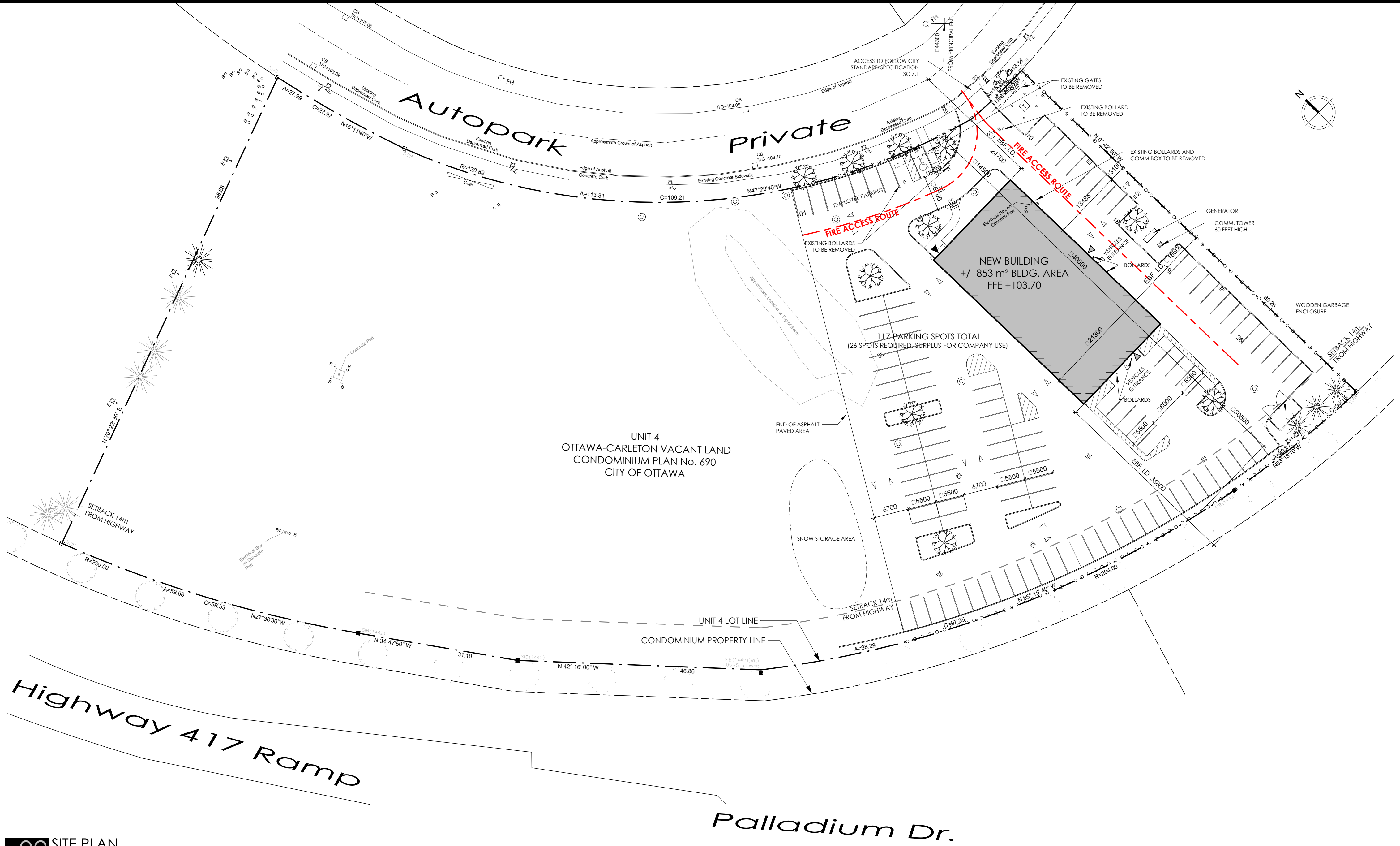
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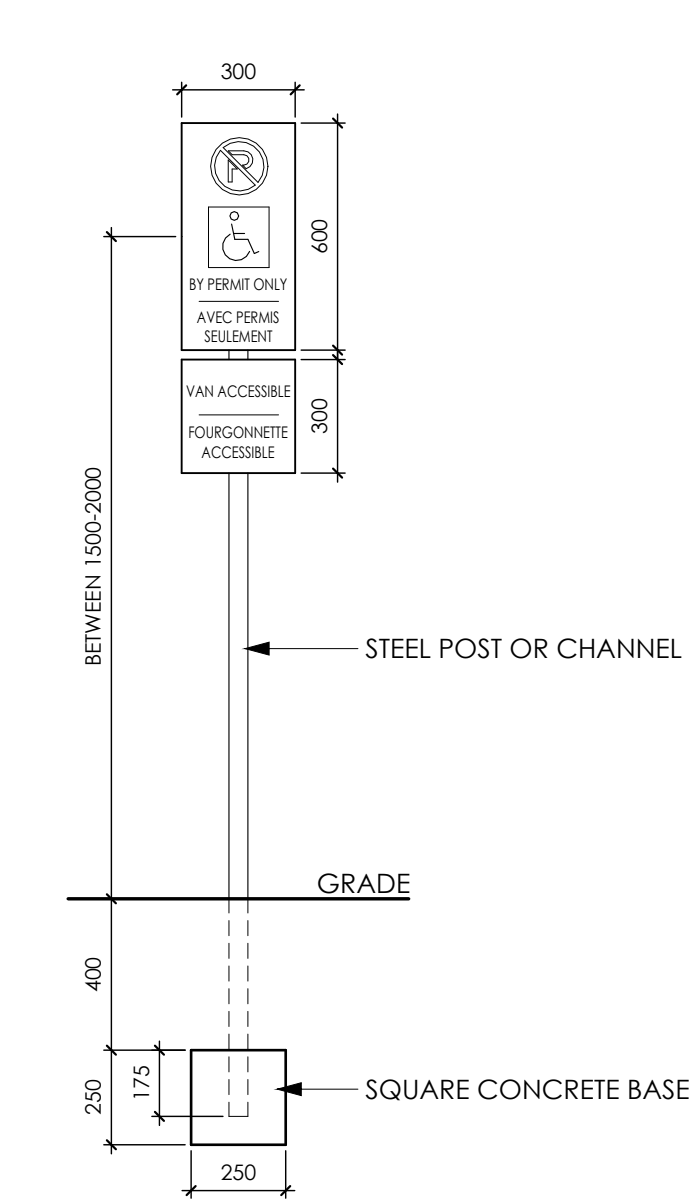
01 KEY PLAN
SCALE: 1 : 5000

SITE STATISTICS		
LOT DESCRIPTION: PART OF LOT 2 CONCESSION 1, HUNTLEY, PART 1 PLAN 4R19829.		
CONDOMINIUM PROPERTY: UNIT 4, LEVEL 1, OTTAWA-CARLETON VACANT LAND CONDOMINIUM PLAN No. 690.		
ZONING: GM22(2423) H(12) - GENERAL MIXED-USE ZONE TOTAL UNIT SITE AREA (m ²): 19,022.80 m²		
ZONING MECHANISM	REQUIRED	PROVIDED
MINIMUM LOT AREA	1800 m ²	19,022.80 m ²
MINIMUM LOT WIDTH	30 m	126.66 m
MINIMUM FRONT AND CORNER SIDE YARD SETBACKS	9 m	15 m
MINIMUM INTERIOR SIDE YARD SETBACK	2 m	19.5 m
MINIMUM REAR YARD SETBACK	7.5 m	38.5 m
MINIMUM YARD SETBACK FROM HIGHWAY 417	14 m	38.5 m
MINIMUM WIDTH OF LANDSCAPED AREA	NO MINIMUM, YARD LANDSCAPED	N/A
MIN. WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT	3 m	3 m
PARKING SPACE LOCATION	DEALERSHIP MAY USE UP TO 25% OF ITS PROVIDED SPACE FOR VEHICLE DISPLAY, NOT CLOSER THAN 15m FROM PUBLIC STREET	N/A
MAXIMUM BUILDING HEIGHT		10 m
PARKING CALCULATIONS		
FLOOR	OCCUPANCY	GFA
F2 - AUTOMOBILE SERVICE STATION	837 m ²	2 PER SERVICE BAY
		26
TOTAL PARKING PROVIDED		
26		
NOTE: PARKING PROVIDED IN SURPLUS OF THE 26 REQUIRED IS FOR COMPANY USE ONLY. NO CUSTOMERS IN THIS FACILITY.		
PARKING SPACE TYPE		
REGULAR PARKING SPACE DIMENSIONS		REQUIRED 2.6 x 5.2 m
ACCESSIBLE PARKING SPACE (BY AODA)		PROVIDED 2.7 x 5.5 m
MINIMUM ASLE WIDTH		REQUIRED 6.7 m
		PROVIDED 6.7 m

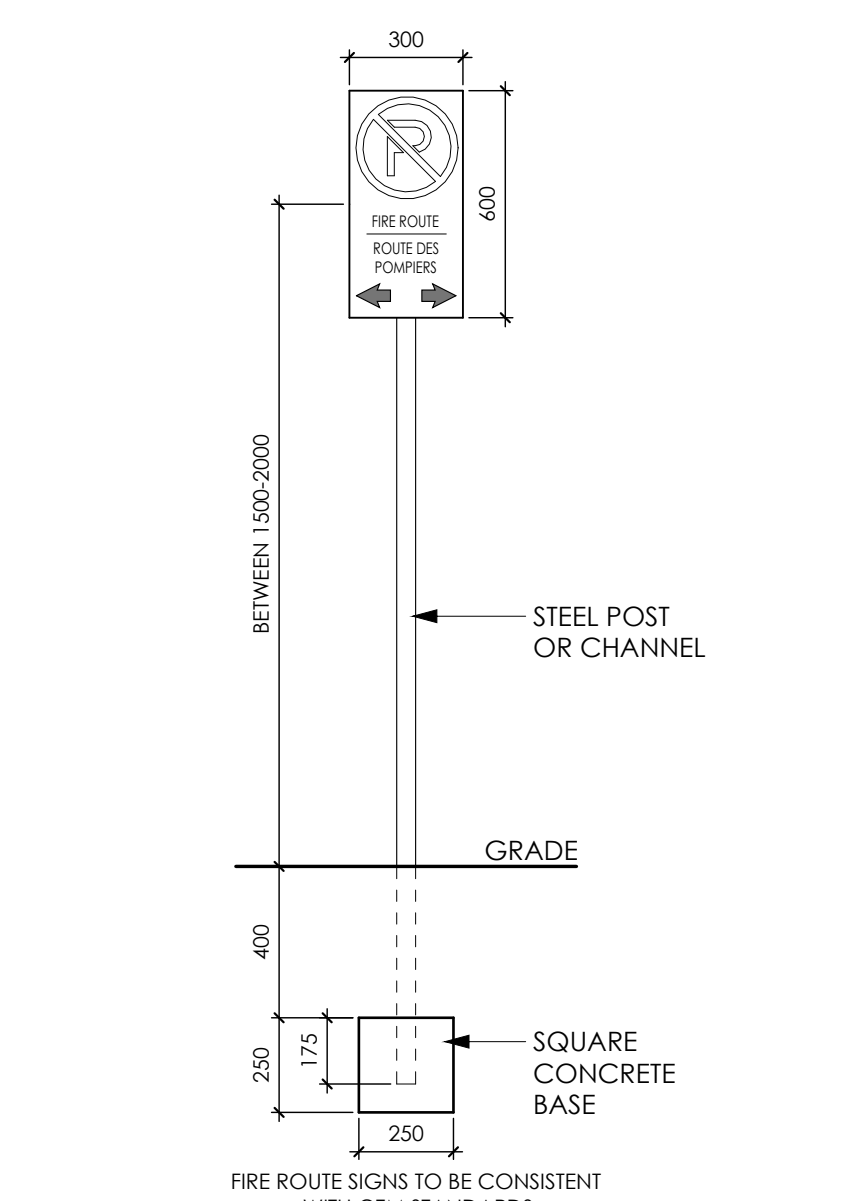
Firm's name:		Vandenberg & Wildeboer Architects Inc.	
Firm's Info:		160 Flamborough Way Kanata, Ontario, K2K 3H9 613.287.0144	
Project Name:		TONY GRAHAM MOTORS 2500 PREP SHOP	
Project Location:		2500 Palladium Dr., Ottawa, ON, Canada K2V 1E2	
NOTES: THE ARCHITECT NOTED ABOVE HAS EXERCISED RESPONSIBLE CONTROL WITH RESPECT TO DESIGN ACTIVITIES. THE ARCHITECTS SEAL NUMBER IS THE ARCHITECTS BCIN.			
Item		Ontario Building Code Data Matrix Parts 3 & 9	
2024 OBC O. Reg. 136/24 Last Amend. O. Reg. 447/24 References are to Division B unless noted (A) for Division A or (C) for Division C			
1	Project Description ■ New Construction □ Addition □ Renovation ■ Addition and Renovation □ Alteration □ Change of Use Description: New 1 Storey Detailing Prep Shop Building	□ Part 11 ■ Part 3 1.3.3.2.(A)	□ Part 9 1.3.3.3.(A) 9.10.1.3.
2	Major Occupancy(s): GROUP F2 - AUTOMOBILE DETAILING SHOP	3.1.2.1.(1)	9.10.2.
3	Superimposed Major Occupancies: Description:	□ Yes ■ No	9.10.2.3.
4	Building Area (m²): Existing: --- m² New: 843 m² Total: 843 m²	1.1.3.(A), 1.4.1.2.(A)	(same)
5	Mezzanine Area (m²): Existing: --- m² New: 76 m² Total: 76 m² Is Mezzanine considered a Storey: ■ No	3.2.1.1.(3) to (8)	9.10.4.1.
6	Building Height (m): Ave. Grade: 0 m Height: 10 m	1.1.3.(A), 1.4.1.2.(A)	1.4.1.2.(A) & 9.10.4
7	Number of Storeys: Above Grade: 1 Below Grade: 0	1.1.3.2.(A) & 3.2.1.1.	(same)
8	Number of Streets/Acc. Routes: 2	3.2.2.10. & 3.2.5.5.	9.10.20.
9	Building Classification: 3.2.2.20	3.2.2.20-93	9.10.2
10	Sprinkler System Proposed: □ Required ■ Not Required Provided: □ Entire Building □ Selected Compartments □ Basement Only □ Selected Floor Areas ■ None	3.2.2.20-93 3.2.1.5. 3.2.2.18. 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
11	Standpipe System Required □ Yes ■ No	3.2.5.8 to 11	9.10.1.3.(8)
12	Fire Alarm System Required □ Yes ■ No	3.2.4.	9.10.18
13	Water Service/Supply is Adequate □ Yes □ No N/A	3.2.5.7.	9.31.3
14	High Building □ Yes ■ No	3.2.6.	N/A
15	Permitted Construction Actual Construction □ Combustible ■ Non-Combustible ■ Both □ Combustible ■ Non-Combustible ■ Both	3.2.2.20-93	3.1.5, 3.1.4.7 & 9.10.2, 9.10.6
16	Occupant Load Based on: □ m²/Person ■ Design of Building GROUP F2: 14 Persons TOTAL OCCUPANT LOAD 14 Persons	3.1.17.	9.9.1.3. & Table 3.1.17.1
17	Barrier Free Design ■ Yes □ No Explanation: Second Floor area less than 600m² and Bldg. not more than 2 storeys. BF to 2nd Floor not required.	3.8 3.8.2.1.(1)(m)	3.8 & 9.5.2.



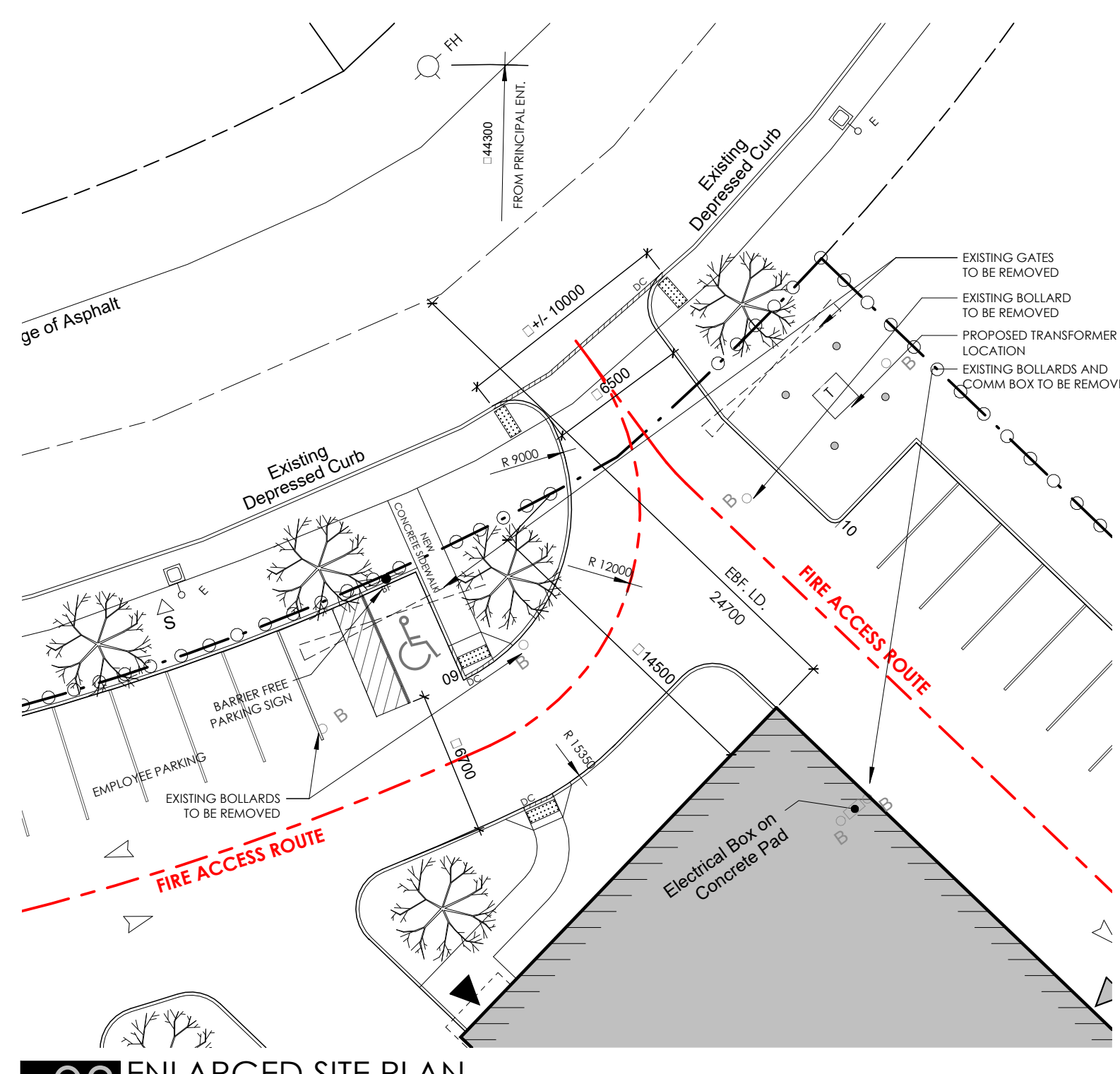
02 SITE PLAN
SCALE: 1 : 450



05 DISABLED PARKING SIGN
SCALE: 1 : 20



04 FIRE ROUTE NO PARKING SIGN
SCALE: 1 : 20

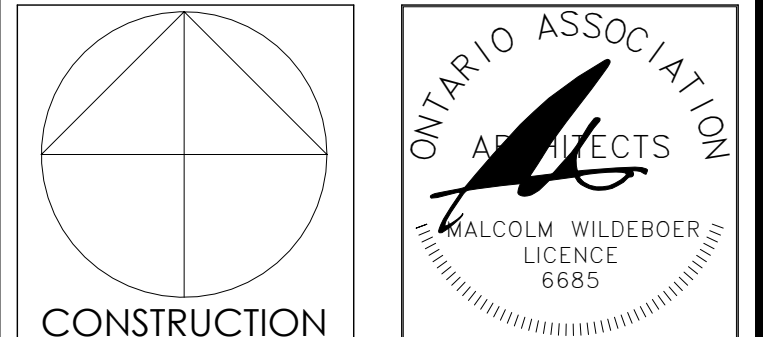


03 ENLARGED SITE PLAN
SCALE: 1 : 250

NO.	REVISION	DATE
1	ISSUED FOR SPA PRE-CONSULTATION	FEB 13, 2025
2	ISSUED FOR SITE PLAN APPLICATION	APR 23, 2025
3	ISSUED FOR 33% SET	MAY 14, 2025
4	ISSUED FOR SITE PLAN APPLICATION	JUN 25, 2025

LEGEND:

- MH MANHOLE - SANITARY AND STORM (SEE CIVIL) ('E' DENOTES EXISTING)
- CB CATCHBASIN (SEE CIVIL) ('E' DENOTES EXISTING)
- FH FIRE HYDRANT (SEE CIVIL) ('E' DENOTES EXISTING)
- U/P UTILITY POLE ('E' DENOTES EXISTING)
- S EXISTING STREET SIGN
- △ DENOTES BUILDING DESIGNATED EXIT
- △ DENOTES BUILDING ACCESS
- DC TYPICAL CURB (REFER: CITY STANDARDS)
- DC DEPRESSED CURB (REFER: CITY STANDARDS)
- PROPERTY LINE
- EXISTING PROPERTY LINE
- NP NO PARKING SIGN
- BF BARRIER FREE PARKING SIGN
- FR FIRE ROUTE SIGN
- FR LIGHT STANDARD (SEE ELECT.) ('FR' DENOTES FIRE ROUTE SIGN ON POST)
- LP LIGHT POST (SEE ELECT.)
- WALL SCNCE (SEE ELECT.)
- LP LIGHT POST WALL MOUNTED (SEE ELECT.)
- SI SIAMESE CONNECTION
- DS DOWNSPOUT
- EV ELECTRIC VEHICLE CHARGING STATION
- TWIS TACTILE WALKING SURGACE INDICATOR (TWSI)
- DL DIAGONAL PAINTED LINES
- T TRANSFORMER W/ BOLLARDS (SEE ELECT.)
- SF SITE FENCING (SEE LANDSCAPE)
- BOLLARDS AT PROPERTY LINE
- LP EXISTING LIGHT POLE
- TREES (TYPICAL)



Vandenberg & Wildeboer
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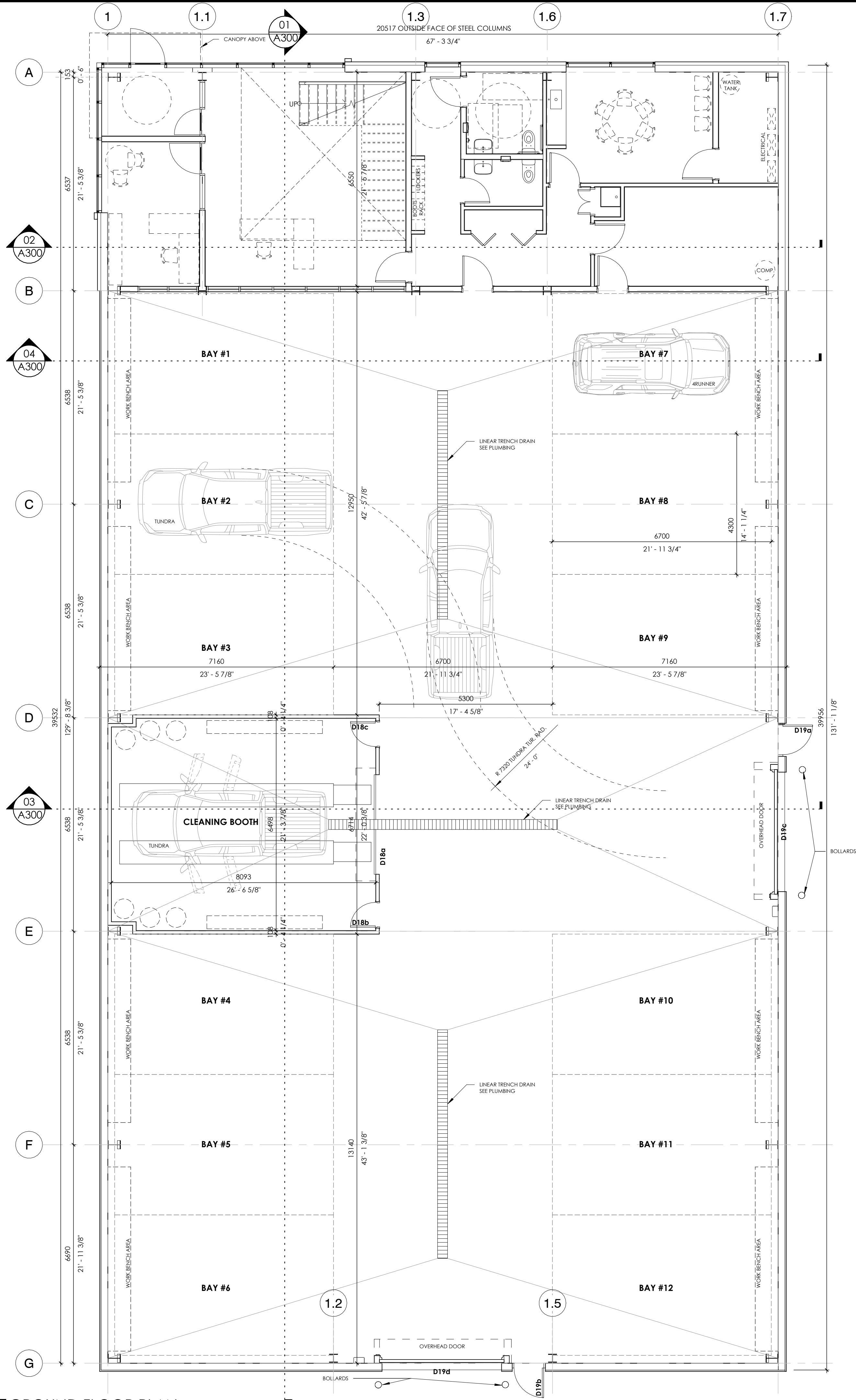
www.vandenberg-wildeboer.com • Telephone: 613.287.0144 • Fax: 613.287.0145 • Email: info@vandenberg-wildeboer.com • 1785 OLD STONE LODGE • 160 FLAMBOROUGH WAY • OTTAWA, ONTARIO • K2K 3H9 •

PROJECT TITLE:
TONY GRAHAM 2500 PREP SHOP
UNIT 4, 2500 PALLADIUM DRIVE, OTTAWA, ON, K2V 1E2

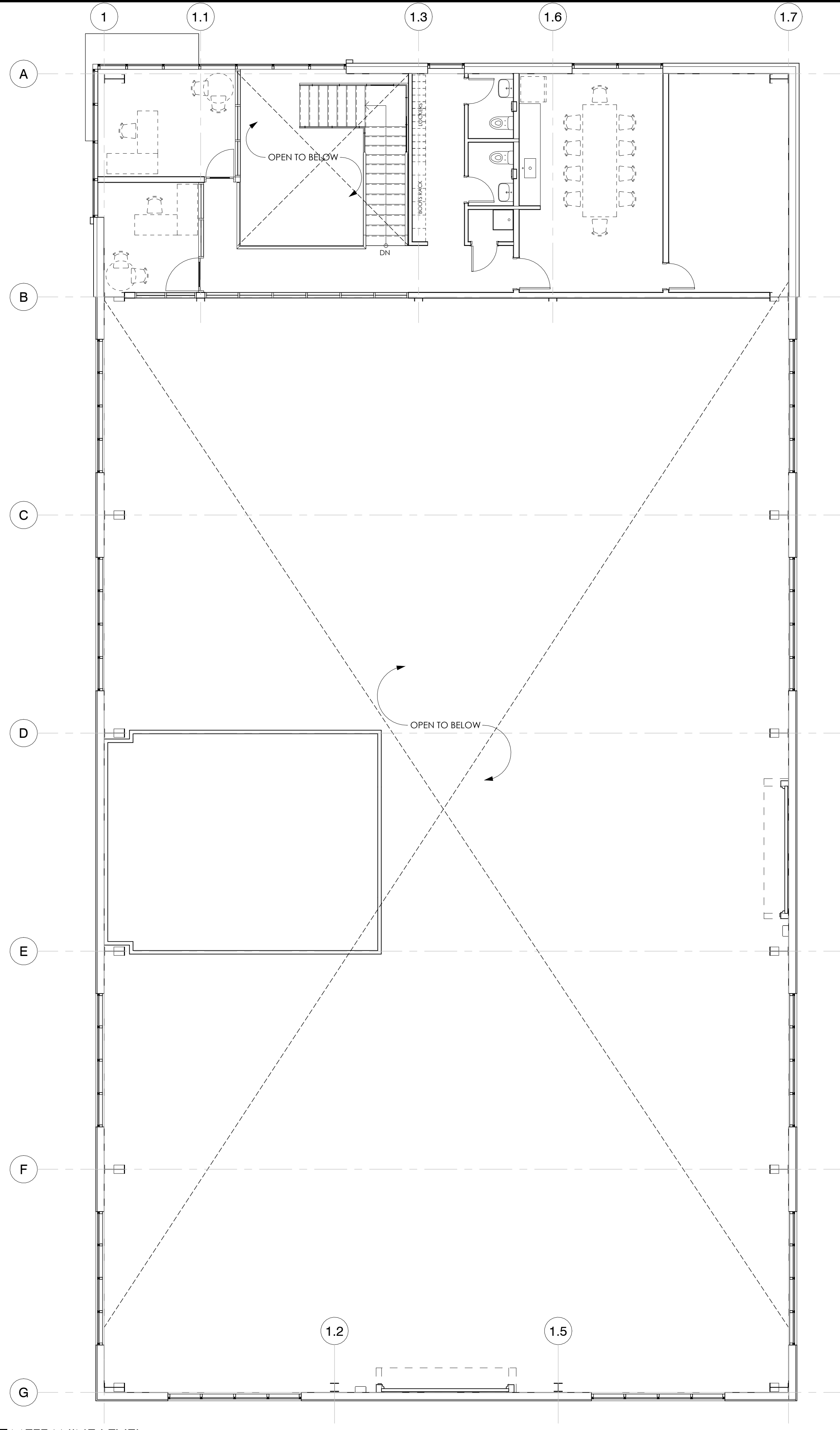
DRAWING TITLE:
SITE PLAN

DESIGNED BY: MW
DRAWN BY: DV
START DATE: 2025-02-13
SCALE: As Indicated
PROJECT NO. 2512

A001

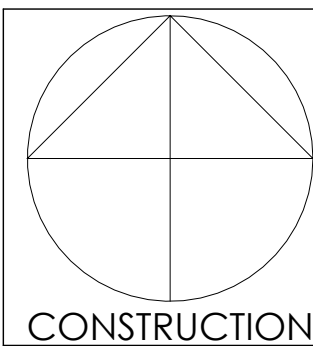


01 GROUND FLOOR PLAN
SCALE: 1 : 75



02 MEZZANINE LEVEL
SCALE: 1 : 75

NO.	REVISION	DATE
1	ISSUED FOR CLIENT REVIEW	FEB 25, 2025
2	ISSUED FOR CLIENT REVIEW	MAR 31, 2025
3	ISSUED FOR SITE PLAN APPLICATION	APR 23, 2025
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5	REISSUED FOR SITE PLAN APPLICATION	JUN 25, 2025



Vandenberg & Wildeboer
A · R · C · H · I · T · E · C · T · S

www.vandenberg.ca • Telephone: 613.347.8144 • Fax: 613.371.8009 • mail@vandenberg.ca
• THE OLD STONE LODGE • 140 PLAMONDROUTH WAY • OTTAWA, ONTARIO • K2V 1E2 •

PROJECT TITLE:
TONY GRAHAM 2500 PREP SHOP
UNIT 4, 2500 PALLADIUM DRIVE, OTTAWA, ON, K2V 1E2

DRAWING TITLE:
FLOOR PLANS

DESIGNED BY: Designer
DRAWN BY: Author
START DATE: 2025-02-13
SCALE: 1 : 75
PROJECT NO. 2512

A101

NO.	REVISION	DATE
1	ISSUED FOR CLIENT REVIEW	FEB 25, 2025
2	ISSUED FOR CLIENT REVIEW	MAR 31, 2025
3	ISSUED FOR SITE PLAN APPLICATION	APR 23, 2025
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5	REISSUED FOR SITE PLAN APPLICATION	JUN 25, 2025

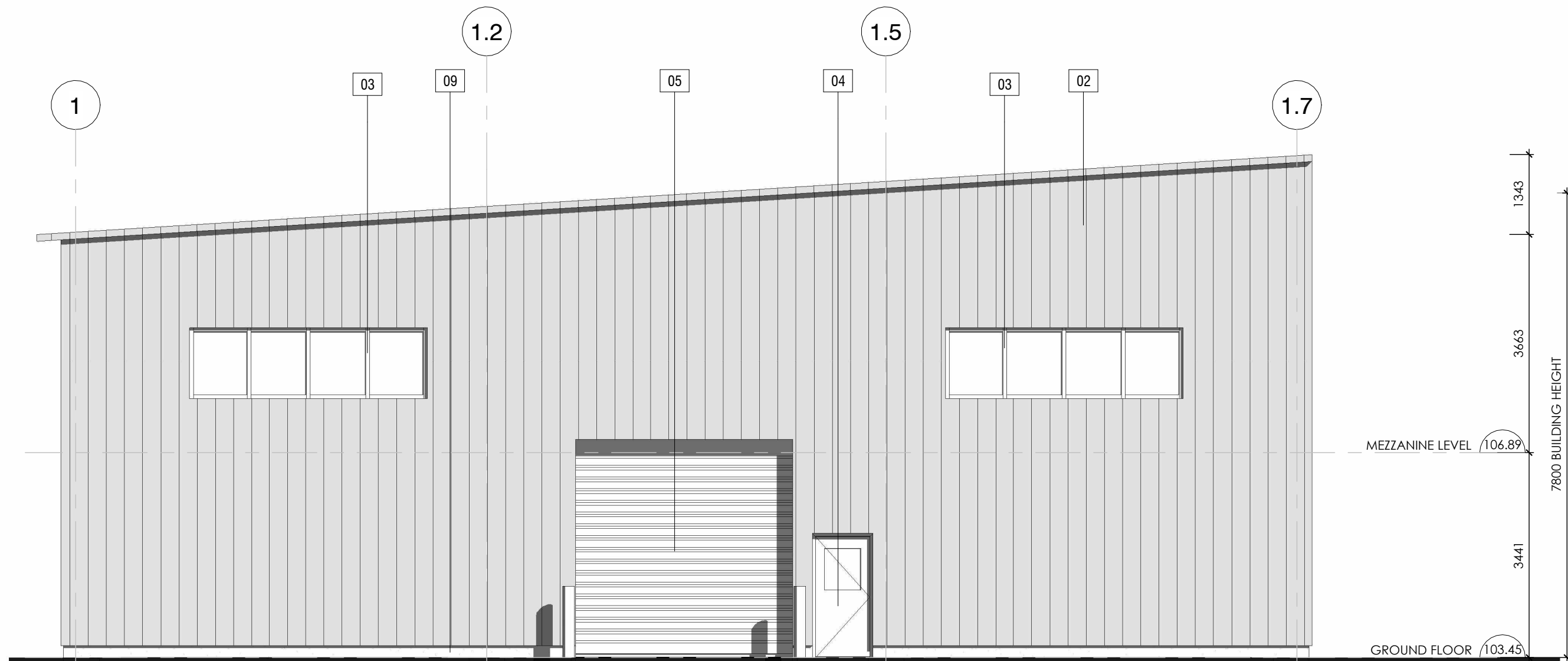
ELEVATION KEYNOTES	
#	DESCRIPTION
01	INSULATED METAL PANEL - COLOUR PEARL GRAY
02	METAL PANEL CLADDING - COLOUR PE 5717 LINER WHITE
03	ALUMINUM CURTAIN WALL, FINISH BLACK ANODIZED
04	HOLLOW METAL INSULATED DOOR AND FRAME W/GLASS - COLOUR TO MATCH WALL CLADDING
05	GARAGE DOOR, ANODIZED ALUMINUM AND GLASS SECTIONS.
06	STANDING SEAM METAL ROOF PANELS - COLOUR PE 5717 LINER WHITE
07	METAL FLASHING - COLOUR RED
08	CANOPY CAPPED IN METAL FLASHING - COLOUR RED
09	EXPOSED CONCRETE FOUNDATION WALL



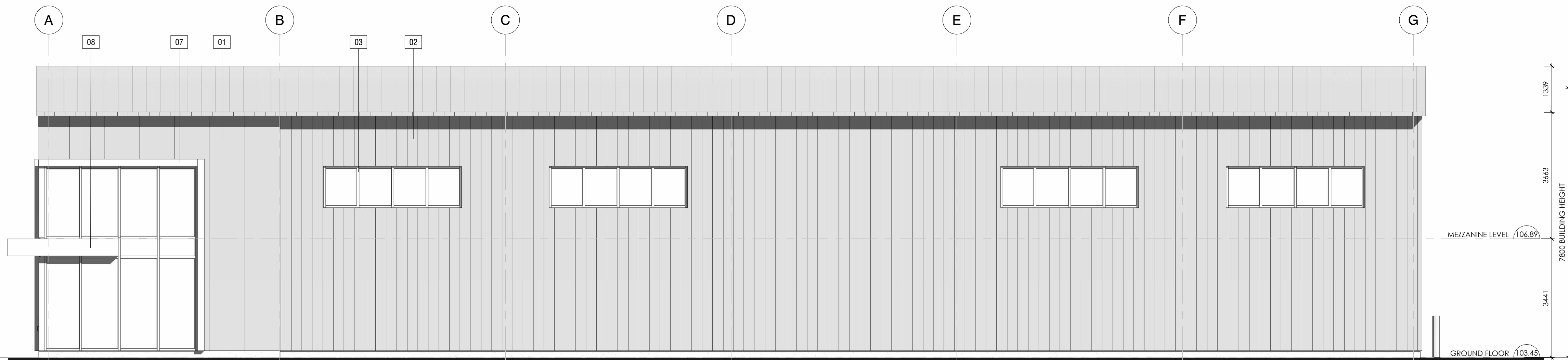
01 EAST ELEVATION
SCALE: 1:75



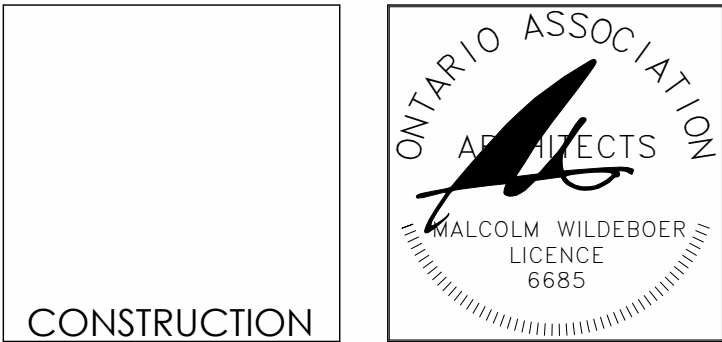
02 NORTH ELEVATION
SCALE: 1:75



03 SOUTH ELEVATION
SCALE: 1:75



04 WEST ELEVATION
SCALE: 1:75



PROJECT TITLE:
TONY GRAHAM 2500 PREP SHOP
UNIT 4, 2500 PALLADIUM DRIVE, OTTAWA, ON, K2V 1E2

DRAWING TITLE:
ELEVATIONS

DESIGNED BY: Designer
DRAWN BY: Author
START DATE: 2025-02-13
SCALE: 1:75
PROJECT NO. 2512

A200