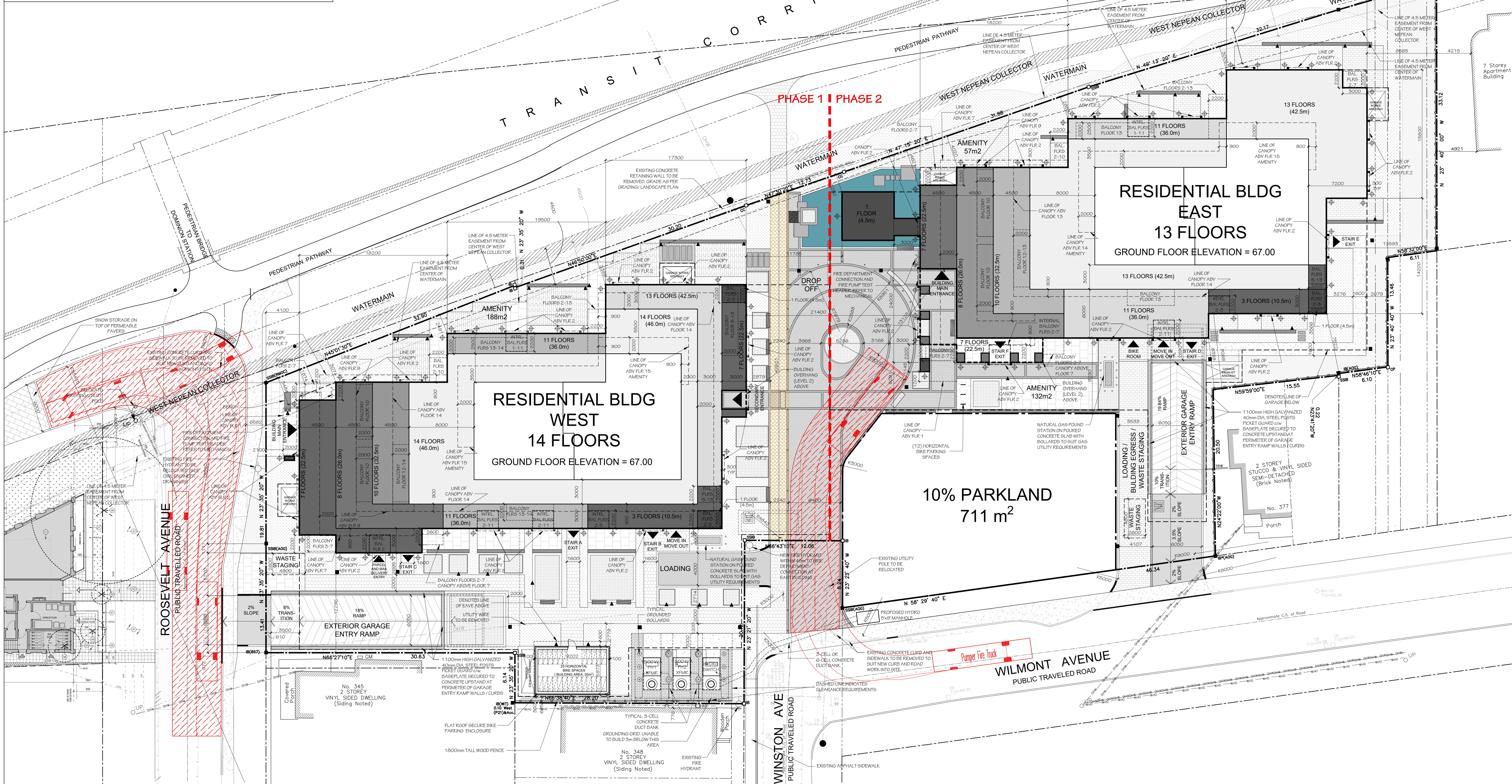


LEGEND

PROPERTY LINE
ENTRY POINT
DEPRECEGSED CURB
EXTERIOR LIGHT FIXTURE
PLANTING (REFER TO LANDSCAPE)
GRASS
CLEAR STONE
RAISED PLANTER
FAUX WOOD LANDSCAPE PAVERS
LARGE FORMAT LANDSCAPE PAVERS
LANDSCAPE PAVERS OR STAMPED CONCRETE
WATER
CONCRETE
ASPHALT
FIRE ROUTE
900mm TALL DRY-STACK LANDSCAPE WALL
1800mm TALL WOOD FENCE
BENCH
PRECAST STEPPING STONES
PHASING LINE

PROPOSED SURFACE EASEMENT FOR PUBLIC/PRIVATE CIRCULATION
TOTAL = 95.5m²

GENERAL NOTES:
- SNOW TO BE REMOVED FROM SITE.



SURVEY INFORMATION TAKEN FROM:

TORONTO PLAN OF SUBDIVISION
LTP 20, RECORDED IN PLAN 14, LOTS 14 AND 15 (East Wilmont Avenue)
LTP 21, 22 AND PART OF LTP 20 (East Wilmont Avenue)
LTP 17 AND 18 (East Wilmont Avenue)
PART OF WILMONT AVENUE (County By Law 44-78 (W. 184/05/1))
PART OF WILMONT AVENUE (County By Law 44-78 (W. 184/05/1))
WILMONT AVENUE (City of Ottawa)
ANNEX: CHALMERS VOLLBERGER LTD.

SITE SUMMARY:

ZONING: R58 (2772) 5454
* REFER TO BY-LAW NUMBER: 2024-430

PROPOSED USE: RESIDENTIAL RENTAL APARTMENT BUILDINGS
PHASE 1 WEST BUILDING = 14 RESIDENTIAL FLOORS
PHASE 2 EAST BUILDING = 13 RESIDENTIAL FLOORS
3 LEVELS UNDERGROUND PARKING GARAGE BELOW PHASE 1 BUILDING AND 4 BELOW PHASE 2 BUILDING
ROOF TOP AMENITY PHASE 1 AND PHASE 2 BUILDINGS
PHASE 1 ACCESSORY BUILDING (BIKE ENCLOSURE)

SITE AREA: 7,112 m²
- 711 m² (10% PARKLAND)

TOTAL = 6,401 m² (PHASE 1 AND PHASE 2)

BUILDING FOOTPRINT AND COVERAGE PHASE 1 & 2: (VALUES ABOVE GRADE)

TOTAL SITE COVERAGE - PHASE 1 AND PHASE 2 = 41.8%

BUILDING FOOTPRINT - PHASE 1 WEST BUILDING = 1,284 m²

BUILDING HEIGHT: 3.6m MAX

BUILDING FOOTPRINT - PHASE 1 ACCESSORY BUILDING = 55 m²

BUILDING FOOTPRINT - PHASE 2 EAST BUILDING = 1,336 m²

TOTAL FOOTPRINT - PHASE 1 AND PHASE 2 = 2,675 m²

LANDSCAPE OPEN SPACE PHASE 1 & 2: PROPOSED

SOFT LANDSCAPING: 1,190 m² (16.7%)
HARD LANDSCAPING: 1,797 m² (27.9%)
ARCHITECTURAL ELEMENTS: 413 m² (6.5%)
TOTAL LANDSCAPE OPEN SPACE = 3,398 m² (53.1%)

BUILDING GFA ZONING: PHASE 1 & 2 PROPOSED

GFA PHASE 1 WEST BUILDING = 15,446 m²

GFA PHASE 2 EAST BUILDING = 15,814 m²

TOTAL GFA PHASE 1 AND PHASE 2 = 31,260 m²

RESIDENTIAL UNITS: PHASE 1 & 2 PROPOSED

PHASE 1 WEST BUILDING = 152 UNITS

PHASE 2 EAST BUILDING = 160 UNITS

BUILDING HEIGHTS: PHASE 1 & 2

MAXIMUM BUILDING HEIGHTS AS PER URBAN EXCEPTIONS AND ZONING SCHEDULE

REQUIRED SETBACKS: PHASE 1 & 2

MINIMUM SETBACKS AS PER URBAN EXCEPTIONS AND ZONING SCHEDULE

ACCESSORY BUILDING

REQUIRED PROVIDED

PHASE 1 WEST BUILDING: PARKING AND AMENITY AREA SUMMARY:

VEHICLE PARKING REQUIRED PROVIDED

RESIDENTIAL PARKING = 70 134

VISITOR PARKING = 14 14

VEHICLE PARKING DISTRIBUTION: 84 148

TOTAL PHASE 1 = 84 148

PHASE 1 WEST BUILDING: PARKING AND AMENITY AREA SUMMARY:

VEHICLE PARKING REQUIRED PROVIDED

RESIDENTIAL PARKING = 70 134

VISITOR PARKING = 14 14

VEHICLE PARKING DISTRIBUTION: 84 148

TOTAL PHASE 1 = 84 148

PHASE 1 WEST BUILDING: PARKING AND AMENITY AREA SUMMARY:

VEHICLE PARKING REQUIRED PROVIDED

RESIDENTIAL PARKING = 70 134

VISITOR PARKING = 14 14

VEHICLE PARKING DISTRIBUTION: 84 148

TOTAL PHASE 1 = 84 148

PHASE 1 WEST BUILDING: PARKING AND AMENITY AREA SUMMARY:

VEHICLE PARKING REQUIRED PROVIDED

RESIDENTIAL PARKING = 70 134

VISITOR PARKING = 14 14

VEHICLE PARKING DISTRIBUTION: 84 148

TOTAL PHASE 1 = 84 148

PHASE 1 WEST BUILDING: PARKING AND AMENITY AREA SUMMARY:

VEHICLE PARKING REQUIRED PROVIDED

PHASE 2 EAST BUILDING: PARKING AND AMENITY AREA SUMMARY:

VEHICLE PARKING REQUIRED PROVIDED

RESIDENTIAL PARKING = 74 116

VISITOR PARKING = 15 15

VEHICLE PARKING DISTRIBUTION: 89 131

TOTAL PHASE 2 = 89 131

PHASE 2 EAST BUILDING: PARKING AND AMENITY AREA SUMMARY:

VEHICLE PARKING REQUIRED PROVIDED

RESIDENTIAL PARKING = 74 116

VISITOR PARKING = 15 15

VEHICLE PARKING DISTRIBUTION: 89 131

TOTAL PHASE 2 = 89 131

PHASE 2 EAST BUILDING: PARKING AND AMENITY AREA SUMMARY:

VEHICLE PARKING REQUIRED PROVIDED

RESIDENTIAL PARKING = 74 116

VISITOR PARKING = 15 15

VEHICLE PARKING DISTRIBUTION: 89 131

TOTAL PHASE 2 = 89 131

PHASE 2 EAST BUILDING: PARKING AND AMENITY AREA SUMMARY:

VEHICLE PARKING REQUIRED PROVIDED

RESIDENTIAL PARKING = 74 116

VISITOR PARKING = 15 15

VEHICLE PARKING DISTRIBUTION: 89 131

TOTAL PHASE 2 = 89 131

PHASE 2 EAST BUILDING: PARKING AND AMENITY AREA SUMMARY:

VEHICLE PARKING REQUIRED PROVIDED

PHASE 1 WEST BUILDING SUMMARY:

LEVEL GR396 AREA NET AREA

UPPER MECHANICAL 212 m² 0 m²

MECHANICAL & ROOF AMENITY 336 m² 0 m²

LEVEL 13 836 m² 728 m²

LEVEL 12 836 m² 728 m²

LEVEL 11 860 m² 854 m²

LEVEL 10 1,074 m² 947 m²

LEVEL 9 1,074 m² 947 m²

LEVEL 8 1,195 m² 1,021 m²

LEVEL 7 1,311 m² 1,137 m²

LEVEL 6 1,311 m² 1,137 m²

LEVEL 5 1,311 m² 1,137 m²

LEVEL 4 1,311 m² 1,137 m²

LEVEL 3 1,343 m² 1,168 m²

LEVEL 2 1,297 m² 1,056 m²

LEVEL 1 1,284 m² 1,022 m²

TOTAL ABOVE GRADE = 15,446 m² 12,022 m²

LEVEL 1 1,284 m² 1,022 m²

LEVEL 2 1,297 m² 1,056 m²

LEVEL 3 1,343 m² 1,168 m²

LEVEL 4 1,311 m² 1,137 m²

LEVEL 5 1,311 m² 1,137 m²

LEVEL 6 1,311 m² 1,137 m²

LEVEL 7 1,311 m² 1,137 m²

LEVEL 8 1,195 m² 1,021 m²

PHASE 2 EAST BUILDING SUMMARY:

LEVEL GR396 AREA NET AREA

UPPER MECHANICAL 212 m² 0 m²

MECHANICAL & ROOF AMENITY 336 m² 0 m²

LEVEL 13 836 m² 728 m²

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TOTAL ABOVE GRADE = 15,446 m² 12,022 m²

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LEVEL 3 1,343 m² 1,168 m²

LEVEL 4 1,311 m² 1,137 m²

LEVEL 5 1,311 m² 1,137 m²

LEVEL 6 1,311 m² 1,137 m²

LEVEL 7 1,311 m² 1,137 m²

LEVEL 8 1,195 m² 1,021 m²

PROJECT CONSULTANTS:

ARCHITECT: HOBIN ARCHITECTURE INC., 63 PAMILIA STREET, OTTAWA, ON K1S 3K7

CONTACT: RHEAL LABELLE, TEL: 613-236-1200 x112

DEVELOPER: UNIFORM URBAN DEVELOPMENTS, 111 CENTREPOINTE DR. #300, OTTAWA, ON K2G 5X3

CONTACT: RYAN MACDOUGALL, TEL: xxx-xxx-xxxx EXT. xxx

LANDSCAPE ARCHITECT: NOVATECH, 240 MICHAEL COMPLAND DR., OTTAWA, ON K2M 1P6

CONTACT: SCOTT COVELL, 613-254-1643 EXT. 303

SITE SERVICES & GRADING: NOVATECH, 240 MICHAEL COMPLAND DR., OTTAWA, ON K2M 1P6

CONTACT: MARK BISSET, TEL: 613-xxx-xxxx EXT. xxx

GEOTECHNICAL: PATERSON GROUP, 615-226-1754, OTTAWA, ON K2E 1T9

CONTACT: DAVID GILBERT, TEL: 613-xxx-xxxx EXT. xxx

CONTACT: RYAN MACDOUGALL, TEL: xxx-xxx-xxxx EXT. xxx

CONTACT: SCOTT COVELL, 613-254-1643 EXT. 303

SITE SERVICES & GRADING: NOVATECH, 240 MICHAEL COMPLAND DR., OTTAWA, ON K2M 1P6

CONTACT: MARK BISSET, TEL: 613-xxx-xxxx EXT. xxx

GEOTECHNICAL: PATERSON GROUP, 615-226-1754, OTTAWA, ON K2E 1T9

CONTACT: DAVID GILBERT, TEL: 613-xxx-xxxx EXT. xxx

CONTACT: RYAN MACDOUGALL, TEL: xxx-xxx-xxxx EXT. xxx

CONTACT: SCOTT COVELL, 613-254-1643 EXT. 303

SITE SERVICES & GRADING: NOVATECH, 240 MICHAEL COMPLAND DR., OTTAWA, ON K2M 1P6

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CONTACT: SCOTT COVELL, 613-254-1643 EXT. 303

SITE SERVICES & GRADING: NOVATECH, 240 MICHAEL COMPLAND DR., OTTAWA, ON K2M 1P6

LOCATION PLAN (NOT TO SCALE):

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11 2025-09-17 REISSUED FOR SFA

10 2025-09-10 ISSUED FOR COORDINATION

9 2025-08-29 ISSUED FOR COORDINATION

8 2025-08-26 ISSUED FOR REVIEW

7 2025-08-27 ISSUED FOR SFA

6 2025-08-27 ISSUED FOR COORDINATION

5 2025-08-20 ISSUED FOR REVIEW

4 2025-08-04 ISSUED FOR COORDINATION

3 2025-06-03 HYDRO COORDINATION

2 2025-05-08 ISSUED FOR COORDINATION

1 2025-02-21 ISSUED FOR COORDINATION

no. date revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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ONTARIO ASSOCIATION OF ARCHITECTS
PART 1: HOBIN
LICENCE 3049

uniform
URBAN DEVELOPMENTS
4301, 111 CENTREPOINTE DR. NEPEAN, ON K2G 5X3

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PROJECT/LOCATION:
335 ROOSEVELT
HIGHRISE RENTAL APARTMENTS
335 ROOSEVELT AVE. OTTAWA, ONTARIO

DRAWING TITLE:
SITE PLAN
PHASE 1 WEST BUILDING &
PHASE 2 EAST BUILDING

DRAWN BY: DATE: SCALE:
JD SEP. 4, 2024 1:200

PROJECT:
2315

DRAWING NO.:
A-1.01

REVISION NO.:
#XX XXX

File No: D07-12-25-0097