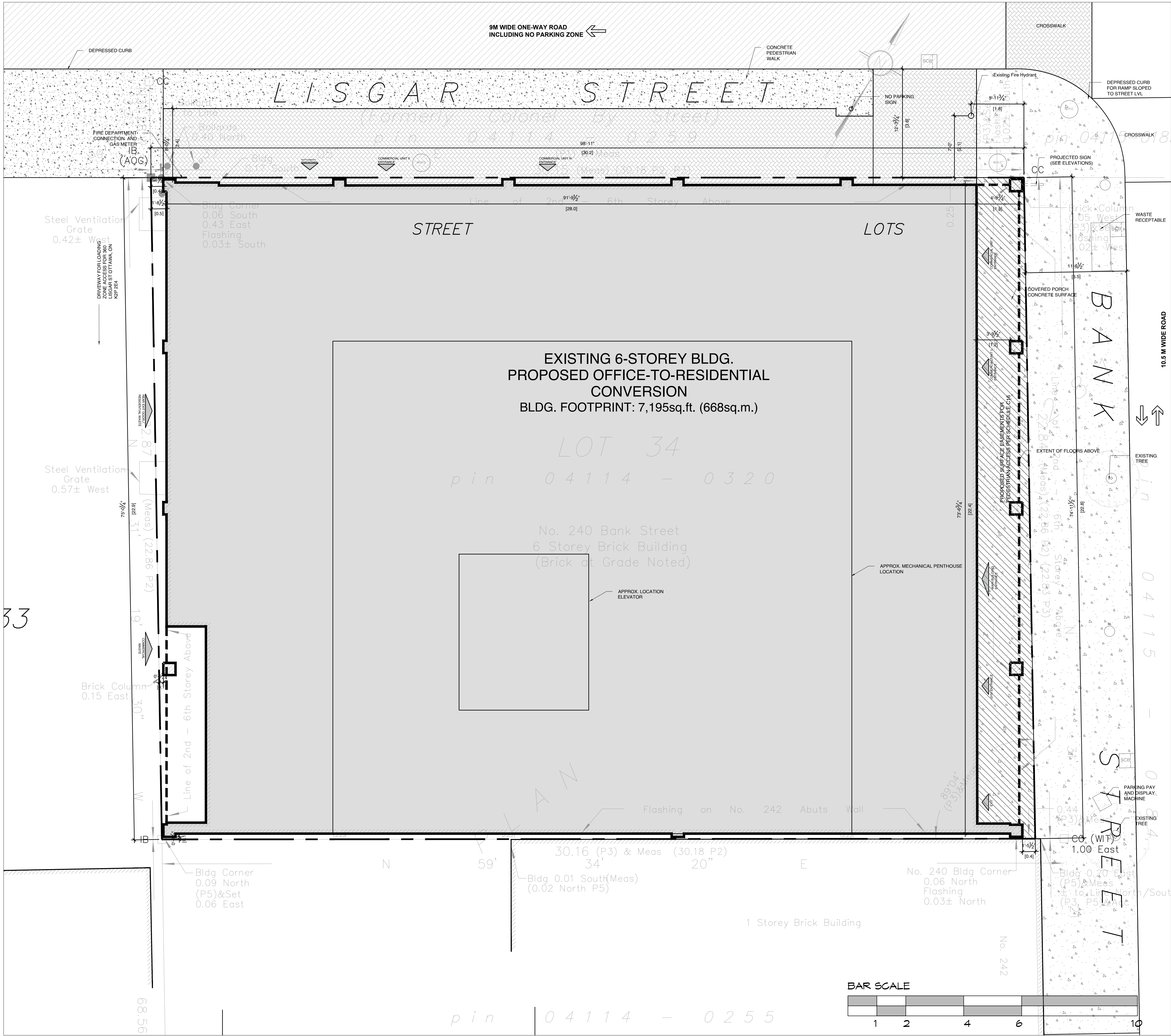
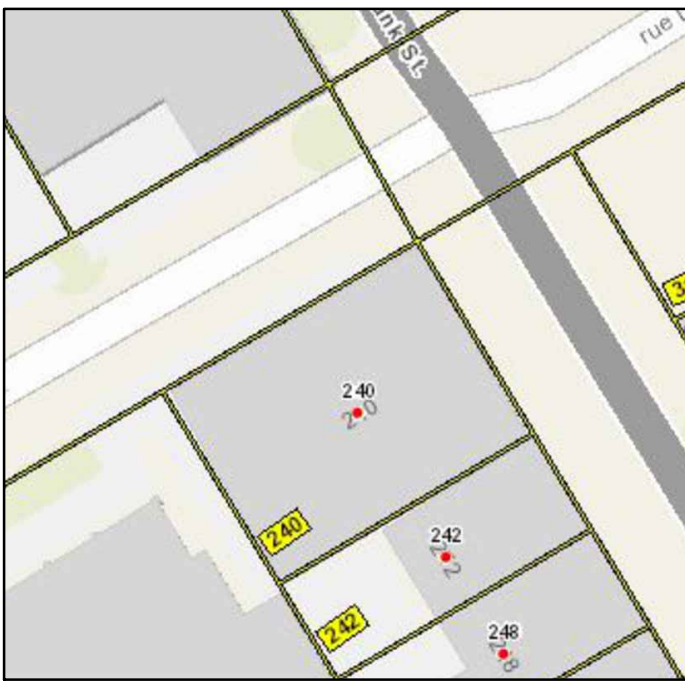




01 OVERALL SITE PLAN
A1.0 SCALE: 3/16" = 1'-0"



02 KEY PLAN
A1.0 SCALE: N.T.S.

PROPERTY LEGAL DESCRIPTION
**PLAN OF LOT 34
(SOUTH LISGAR STREET)**
REGISTERED PLAN 12281
CITY OF OTTAWA
Prepared by Anis, O'Sullivan, Vollebek Ltd.
Dated December 5th, 2005
14 Concourse Gate, Suite 500, Nepean, ON K2E 7S6
Tel.: 613.727.0850
Fax.: 613.727.1079

PROJECT ZONING REVIEW/STATISTICS	BUILDING AREAS	SQ.M.	SQ.FT.
MUNICIPALITY: CITY OF OTTAWA MUNICIPAL ADDRESS: 240 BANK STREET REGISTERED OWNER: 240 BANK STREET HOLDINGS (C/O CREST REALTIES) LOT AREA: 689m ² ZONING ANALYSIS: OTTAWA ZONE PROPOSED USE: TM H(19) 6-STORY OFFICE-TO-MIXED USE BUILDING WITH RESIDENTIAL AND NON-RESIDENTIAL (PERSONAL SERVICE BUSINESS AND RETAIL STORE) CONV.	BUILDING FOOTPRINT GROSS FLOOR AREA: GROUND FLOOR (AMENITIES / PARKING) GROUND FLOOR COMMERCIAL SPACE (3) SECOND - SIXTH FLOOR (RESI. 9' FLOOR) TOTAL TOTAL RESIDENTIAL UNITS = 45	668m ² 5,217m ² 183m ² 3,340m ² 4,008m ² 43,170m ²	7,195ft ² 56,478ft ² 2,000ft ² 35,975ft ² 43,170ft ²

ZONING MECHANISM (TM H(19))	REQUIRED	PROVIDED
MINIMUM LOT WIDTH	NO MINIMUM	22.85m
MINIMUM LOT AREA	NO MINIMUM	689m ²
MAXIMUM BUILDING HEIGHT	20m	19.7m
MINIMUM FRONT YARD SETBACK	MAX. 2.0m	0.0m
MINIMUM REAR YARD SETBACK	NO MINIMUM	0.0m
MINIMUM INTERIOR YARD SETBACK	NO MINIMUM, MAX. 3.0m	0.0m
MINIMUM CORNER SIDE YARD SETBACK	NO MINIMUM 3.0	0.0m
MAXIMUM LOT COVERAGE	NO MAXIMUM	N/A
MAXIMUM FLOOR SPACE INDEX	NO MAXIMUM	N/A
MINIMUM WIDTH OF LANDSCAPE AREA	NO MAXIMUM, EXCEPT THAT WHERE A YARD IS PROVIDED AND NOT USED FOR REQUIRED DRIVEWAYS, AISLES, PARKING OR LOADING SPACES, THE WHOLE YARD MUST BE LANDSCAPED	N/A

PARKING & LOADING SPACE PROVISIONS		
MINIMUM REQUIRED VEHICLE PARKING SPACES	NONE	NONE
BICYCLE PARKING REQUIRED	23 BICYCLE SPACES (0.5 PER DWELLING)	40 BICYCLE SPACES
BICYCLE PARKING SPACE DIMENSIONS	MIN. WIDTH: 0.37m, MIN. LENGTH: 1.8m	WIDTH: 0.6m, LENGTH: 1.8m
VISITOR PARKING SPACES	3 VISITOR SPACES	0 SPACES
AMENITY SPACE SECTION	TOTAL AMENITY: 691m ² PER DWELLING UNIT = 270m ² COMMUNAL AMENITY: 50% OF TOTAL = 135m ²	690m ² (BASEMENT & GROUND FLOOR) 153m ² (GROUND FLOOR) TOTAL: 761m ²
OUTDOOR REFUSE COLLECTION	N/A	N/A

BUILDING FLOOR STATISTICS-DWELLING UNIT TYPE			
FLOOR LEVEL	SUITE COUNT	ONE BEDROOM	ONE BEDROOM (LARGE)
SECOND FLOOR	9	7	2
THIRD FLOOR	9	7	2
FOURTH FLOOR	9	7	2
FIFTH FLOOR	9	7	2
SIXTH FLOOR	9	7	2
TOTAL	45	35	10
SUITE MIX	100%	35/45= 77.78%	10/45=22.22%

SITE PLAN NOTES	SITE PLAN SYMBOLS
NOTE# (E)AS EXISTING ASPHALT SURFACE - REFER TO SURVEY (E)BU EXISTING BUSHES - REFER TO SURVEY (E)CSW EXISTING CONCRETE CURB - REFER TO SURVEY (E)GSW EXISTING CONCRETE SIDEWALK - REFER TO SURVEY (E)JHW EXISTING OVERHEAD UTILITY WIRES - REFER TO SURVEY (E)JRW EXISTING RETAINING WALL - REFER TO SURVEY (E)JT EXISTING TREE - REFER TO SURVEY (E)TR EXISTING TREE TO BE REMOVED - REFER TO SURVEY B BOLLARD, 6MM X 125MM DIA. X 1050MM PAINTED GALVANIZED STEEL BOLLARD C/W WELDED CAP AND 8MM X 150MM BASE PLATE WITH 4 BOLT HOLES. SECURE TO PAVEMENT OR SIDEWALK AT LOCATIONS INDICATED WITH 16MM DIA. GALVANIZED CONCRETE OR ASPHALT ANCHORS DEPENDANT ON LOCATION. BFP5 PROVIDE VERTICALLY-MOUNTED SIGN, MINIMUM 300MM WIDE X 600MM HIGH, MARKED WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY. MOUNT NOT LESS THAN 1500MM ABOVE GRADE AND NOT MORE THAN 2000MM ABOVE GRADE. ENSURE TONAL CONTRAST BETWEEN BF PARKING SIGN AND BACKGROUND ENVIRONMENT. PROVIDE INFORMATION TEXT COMPLIANT WITH CITY OF OTTAWA BY LAW REQUIREMENTS. PROVIDE ADDITIONAL BILINGUAL SIGNAGE THAT IDENTIFIES TYPE "A" SPACES AS "VAN ACCESSIBLE/ FOURCOINNETTE ACCESSIBLE". BR BIKE RACK - REFER TO LANDSCAPE CC CONCRETE CURB - REFER TO CIVIL CP CONCRETE PAD - REFER TO CIVIL CSW CONCRETE SIDEWALK - REFER TO CIVIL CY CANOPY C/W RECESSED POT LIGHTS - REFER TO ELECTRICAL GM GAS METER - REFER TO SITE SERVICING PMT PAD MOUNT TRANSFORMER - REFER TO CIVIL PP PAINTED PARKING LINES, TYP. - REFER TO CIVIL RSL ROOF STORM LINE - REFER TO CIVIL RW RETAINING WALL - REFER TO CIVIL SL SANITARY LINE - REFER TO CIVIL STL STORM LINE - REFER TO CIVIL TWSI TACTILE WALKING SURFACE INDICATOR (TWSI), FULL WIDTH OF CURB RAMP, RECESSED TO BE FLUSH WITH CONCRETE WALKING SURFACE - REFER TO CIVIL WTS WATER SERVICE - REFER TO CIVIL WTSL WEEPING TILE STORM LINE - REFER TO CIVIL	NEW OVERHEAD DOOR NEW DOOR / ENTRANCE BICYCLE PARKING SPACE (1.8Mx0.6M) NEW SIGN, REFER TO SIGN LEGEND FIRE ROUTE SIGN STREET LIGHT TRAFFIC SIGNAL LIGHTS MAINTENANCE HOLE W/ COVER STORM WATER CATCH BASIN TWO WAY TRAFFIC DEPRESSED CURB (DC) PROPERTY LINE MINIMUM SETBACKS (ZONING) NEW CONSTRUCTION EXISTING BUILDINGS SOFT LANDSCAPING CONCRETE SIDEWALK PAVED SIDEWALK SURFACE EASEMENTS NO PARKING LINES

CLIENT NAME:
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NOTES:
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OF
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LICENCE 9092
NORTH ARROW:

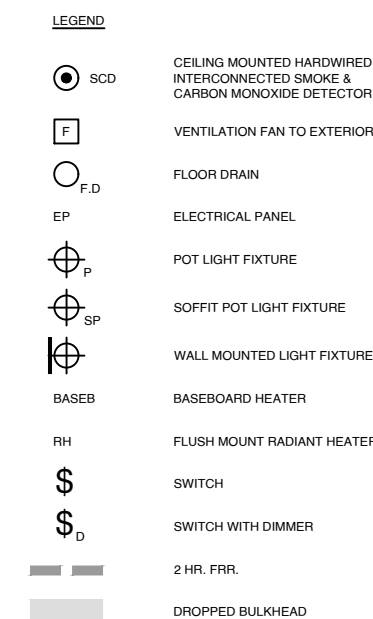
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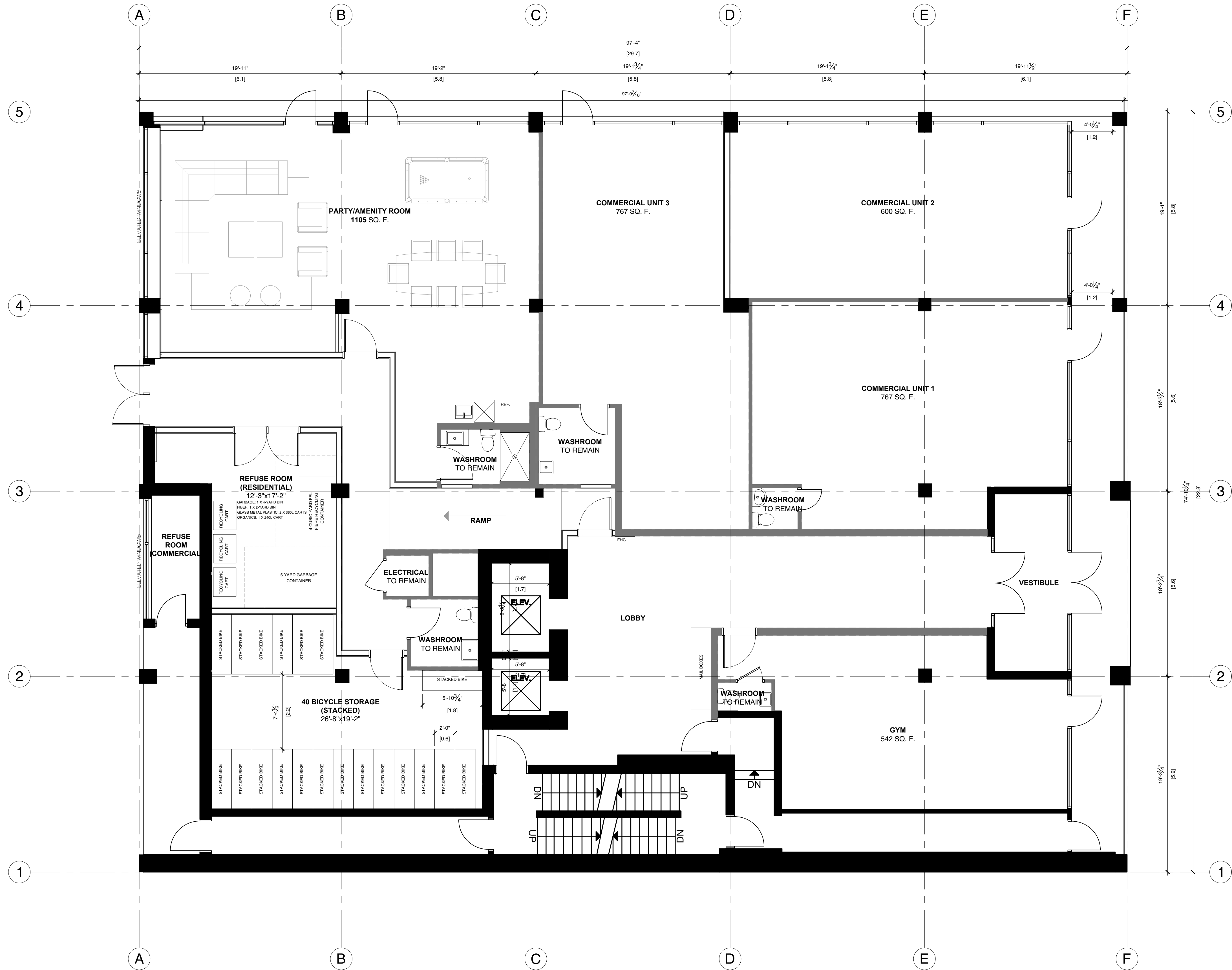
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BANK ST RETROFIT
240 BANK STREET, OTTAWA, ON

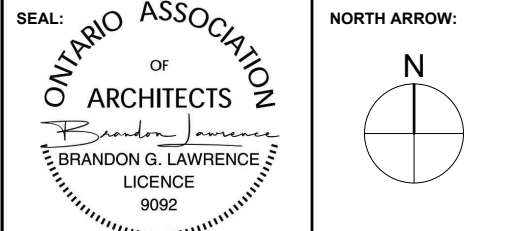
SHEET TITLE:
SITE PLAN
DRAWN BY: B.L. CHECKED BY: L.A.
PLOT DATE: 2025.09.17 PROJECT START DATE: 2024.02.21
JOB NUMBER: SL-1118-24 SCALE: AS SHOWN
SHEET NUMBER:





- LEGEND
- SCD CEILING MOUNTED HARDWIRED INTERCONNECTED SMOKE & CARBON MONOXIDE DETECTOR
 - FD VENTILATION FAN TO EXTERIOR
 - EP FLOOR DRAIN
 - EP ELECTRICAL PANEL
 - SP POT LIGHT FIXTURE
 - SP SLOTTED POT LIGHT FIXTURE
 - SP WALL MOUNTED LIGHT FIXTURE
 - SP BASEBOARD HEATER
 - PH FLUSH MOUNT RADIANT HEATER
 - S SWITCH
 - S SWITCH WITH DIMMER
 - 2 HR FRB 2 HR FIRE RATED
 - DRIPPED BULKHEAD

- NOTES:
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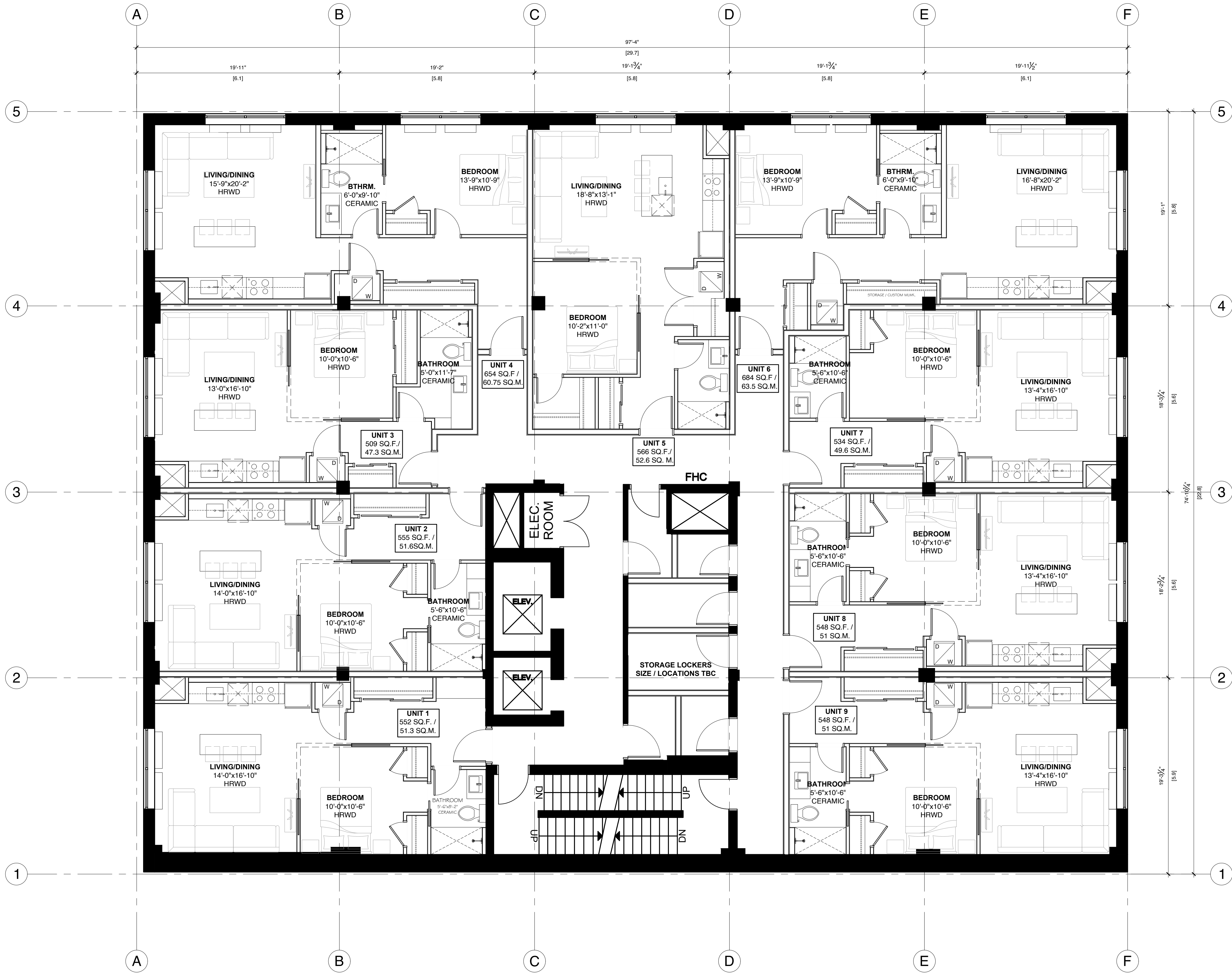
PROJECT:
BANK ST RETROFIT
240 BANK STREET, OTTAWA, ON
SHEET TITLE:
GROUND FLOOR PLAN

DRAWN BY: B.L. CHECKED BY: L.A.

PLOT DATE: 2025.09.17 PROJECT START DATE: 2024.02.21

JOB NUMBER: SL-1118-24 SCALE: AS SHOWN

SHEET NUMBER:



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 - VENTILATION FAN TO EXTERIOR
 - FLOOR DRAIN
 - ELECTRICAL PANEL
 - POT LIGHT FIXTURE
 - BOFFY POT LIGHT FIXTURE
 - WALL MOUNTED LIGHT FIXTURE
 - BASEBOARD HEATER
 - FLUSH MOUNT RADIANT HEATER
 - SWITCH
 - SWITCH WITH DIMMER
 - 2 HR. FRR
 - DROPPED BLANKHEAD

CLIENT NAME:
CREST REALTIES

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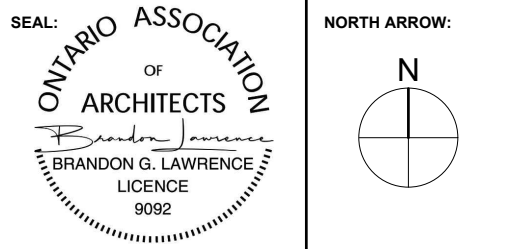


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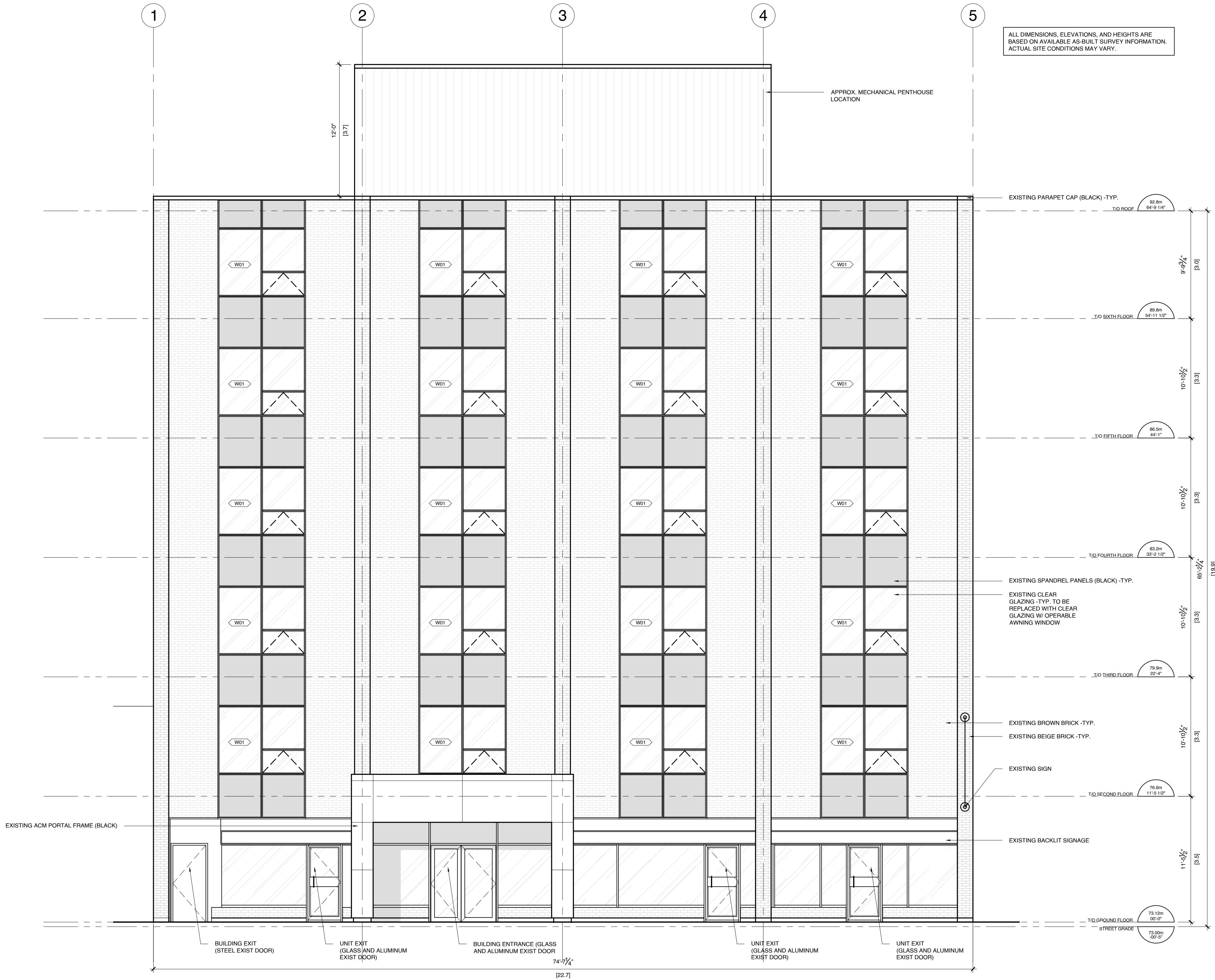
SHEET TITLE:
FLOOR PLANS

DRAWN BY: B.L. CHECKED BY: L.A.

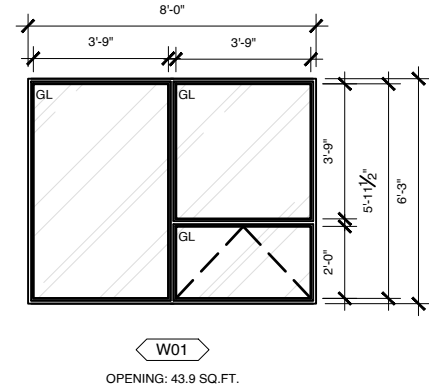
PLOT DATE: 2025.09.17 PROJECT START DATE: 2024.02.21

JOB NUMBER: SL-1118-24 SCALE: AS SHOWN

SHEET NUMBER:



01 EAST (FRONT) ELEVATION
A3.0 SCALE: 3/16"=1'-0"



NOTES:

GL = GLAZING

** = OPERATOR DIRECTION FOR WALL WINDOWS

02 WINDOW SCHEDULE
A3.0 SCALE: 3/16"=1'-0"

CLIENT NAME:
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SEAL: **ONARIO ASSOCIATION OF ARCHITECTS**
BRANDON G. LAWRENCE
LICENCE 9092

NORTH ARROW:
N

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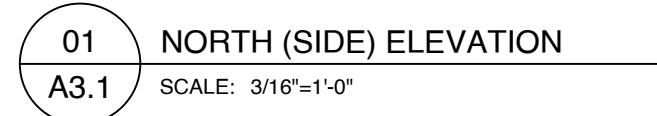
PROJECT:
BANK ST RETROFIT
240 BANK STREET, OTTAWA, ON

SHEET TITLE:
ELEVATIONS

DRAWN BY: B.L. CHECKED BY: L.A.
PLOT DATE: 2025.09.17 PROJECT START DATE: 2024.02.21
JOB NUMBER: SL-1118-24 SCALE: AS SHOWN
SHEET NUMBER:

A3.0

APPLICATION #



APPROX. MECHANICAL PENTHOUSE
LOCATION

T/O SIXTH FLOOR 54'-11 1/2"

— T.O. FIFTH FLOOR —

T/O FOURTH FLOOR $33'-2\frac{1}{2}"$

ELS (BLACK) -TYP.

10 1/2"

GLAZING $1\frac{1}{2}$ "

SECTION

73.12m
00'-0"

-00-5-

APPLICABILITY:

APPLICATION #

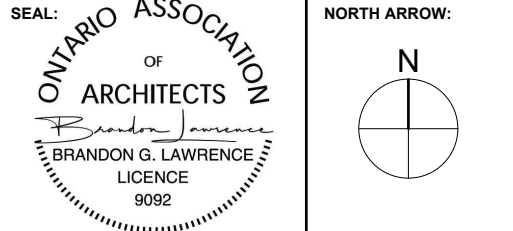
APPLICATION #



01 WEST (REAR) ELEVATION
A3.2 SCALE: 3/16"=1'-0"

CLIENT NAME:
CREST REALTIES

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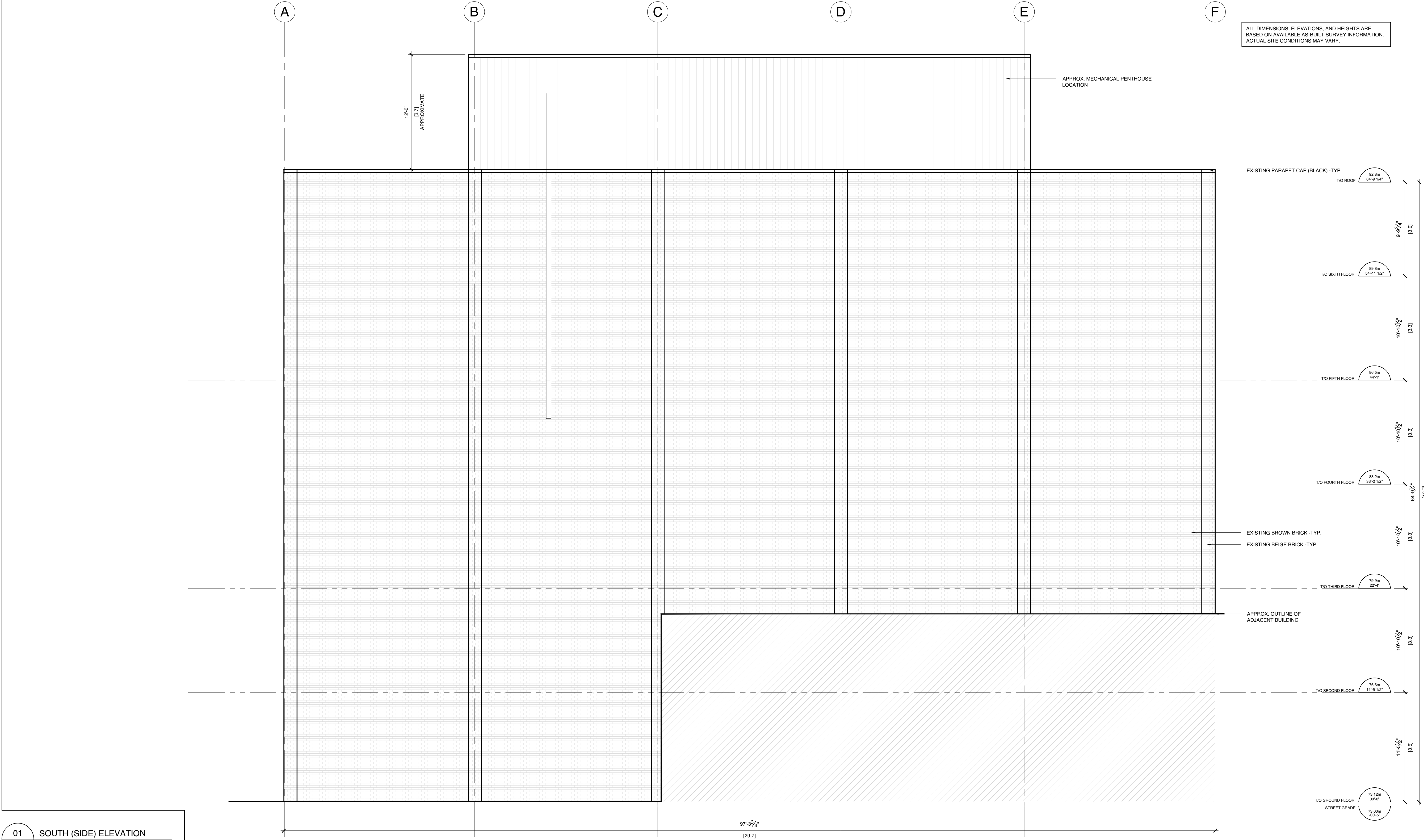
240 BANK STREET, OTTAWA, ON

SHEET TITLE:
ELEVATIONS

DRAWN BY: B.L. CHECKED BY: L.A.
PLOT DATE: 2025.09.17 PROJECT START DATE: 2024.02.21
JOB NUMBER: SL-1118-24 SCALE: AS SHOWN
SHEET NUMBER:

A3.2
PLAN #

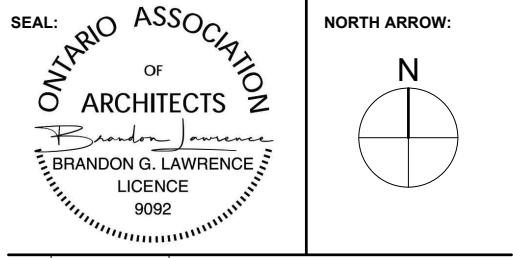
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BANK ST RETROFIT

240 BANK STREET, OTTAWA, ON

SHEET TITLE:
ELEVATIONS

DRAWN BY: **B.L.** CHECKED BY: **L.A.**

PLOT DATE: **2025.09.17** PROJECT START DATE: **2024.02.21**

JOB NUMBER: **SL-1118-24** SCALE: **AS SHOWN**

SHEET NUMBER:

A3.3

APPLICATION #