

PLANT SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	MATURE HT. (M)	MATURE SPR. (M)	O.C. (M)	REMARKS
TREES								
2	Acer griseum	Paperbark Maple	50mm Cal.	W.B.	7.0	6.0	As Shown	
2	Acer saccharum 'Columnare'	Columnar Sugar Maple	50mm Cal.	W.B.	11.0	3.0	As Shown	
2	Amelanchier canadensis	Canadian Serviceberry - Multistem	150cm HT.	#15 cont.	6.0	4.0	As Shown	Multistem Form, Native to Ontario
5	Amelanchier laevis	Allegheny Serviceberry	50mm Cal.	W.B.	5.0	5.0	As Shown	Native to Ontario
2	Cercis canadensis	Eastern Redbud	50mm Cal.	W.B.	9.0	7.0	As Shown	Native to Ontario
117	Liriodendron tulipifera 'Little Volunteer'	Little Volunteer Tulip Poplar	50mm Cal.	W.B.	7.0	4.0	As Shown	
SHRUBS								
25	Diervilla lonicera	Bush Honeysuckle	40cm	#3 cont.	1.0	1.0	0.90	Native to Ontario
25	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	50cm	#3 cont.	1.1	1.0	0.90	
4	Ilex verticillata	Winterberry Holly	80cm	#3 cont.	1.75	1.75	1.6	Native to Ontario
24	Juniperus chinensis 'Fairview'	Fairview Juniper	80cm	#7 cont.	2.75	0.80	0.70	
43	Juniperus sabinia	Savin Juniper	40cm	#3 cont.	1.0	1.25	1.0	
21	Pinus mugo 'Slowmound'	Mugo Pine	50cm	#3 cont.	0.70	1.0	0.90	
4	Sambucus canadensis	Elderberry	50cm	#3 cont.	2.5	2.0	1.75	Native to Ontario
117	Spiraea japonica 'Nana'	Alpine Spirea	30cm	#3 cont.	0.30	0.50	0.40	
GRASSES								
163	Festuca glauca	Blue Fescue	--	#1 cont.	0.30	0.30	0.20	
PERENNIALS								
109	Heimerocallis x 'Purple D'Oro'	Purple D'Oro Daylily	--	#1 cont.	0.50	0.50	0.40	Rebloomer
41	Hosta x 'Blue Wedgewood'	Blue Wedgewood Hosta	--	#1 cont.	0.50	0.60	0.50	
30	Rudbeckia hirta	Black-Eyed Susan	--	#1 cont.	0.60	0.50	0.40	
28	Tiarella cordifolia	Foamflower	--	#1 cont.	0.10	0.40	0.30	Native to Ontario
GROUND COVERS								
6	Cotoneaster dammeri 'Coral Beauty'	Coral Beauty Cotoneaster	30cm	#3 cont.	0.40	1.5	1.3	

LANDSCAPE NOTES:

- All work to be carried out in accordance with by-laws and codes having jurisdiction over site location.
- Complete all work to the satisfaction of the Landscape Architect.
- Report any changes, discrepancies or substitutions to the Landscape Architect for review. Obtain approval from the Landscape Architect before proceeding.
- It is the contractor's responsibility to determine existing service locations.
- Exact locations of plant material will be determined by placement of site services such as hydro vaults, meters, utilities roof rain water leaders, driveways, light standards, etc.
- All plant material locations to be staked or marked out and approved by Landscape Architect prior to installation.
- Supply all plant material in accordance with the Canadian Standards for Nursery Stock (8th ed.).
- Install plant material according to details shown.
- Supply and place mulch in accordance with Canadian Landscape Standard (Section 10, Mulching). Disturbed soil areas around trees and shrubs are to be covered with shredded conifer bark mulch such as 'Cedar Bark Mulch' by All Treat Farms or 'Classic Cedar Mulch' by Oro-Bark, or approved equivalent. Alternative mulches must be approved by the Landscape Architect.
- Contractor to utilize layout dimensions where provided.
- Provide planting bed area as noted on the drawing or to accommodate mature size of plant material.
- All support systems must be removed by the contractor at time of final acceptance. No extras will be paid to complete this work.
- Supply and place topsoil in accordance with Canadian Landscape Standard (Section 4, Grading & Drainage and Section 6, Growing Medium) to a minimum depth of 150mm unless otherwise specified.
- Supply and place seed in accordance with Canadian Landscape Standard (Section 7, Lawns & Grass and Section 8, Turfgrass Sod) unless otherwise specified.
- Supply and place seed in accordance with Canadian Landscape Standard (Section 4, Grading & Drainage and Section 6, Growing Medium) unless otherwise specified. All 5:1 or greater slopes to be seeded with topsoil. Contractor to provide necessary erosion control protection as required to ensure soil stabilization and proper seed germination.
- All dimensions in meters unless otherwise noted.
- If discrepancies arise between plant material count shown on drawing and plant list, the drawing shall be considered correct.
- Contractor to provide minimum one (1) year warranty (including trees on municipal property) from date accepted on all work unless otherwise specified.
- Any site plan or grading and servicing shown is for information only. Refer to approved drawings.
- Not for construction unless stamped, signed and dated by Landscape Architect.
- Drawings not to be reproduced without written consent from Landscape Architect.
- Approval of landscape plan to be obtained from municipality.
- All plant material to be planted a minimum of 1.0m from any swales or ditches.
- For grading and servicing information refer to the consulting Engineer's drawings.
- For lighting information and power distribution refer to the electrical consultant's drawings.

KEY MAP - N.T.S.



LEGEND

- property line
- proposed deciduous tree
- proposed shrub
- proposed perennial
- existing elevation
- proposed elevation
- min. 150mm topsoil, fine grade & sod
- C.I.P. concrete
- precast concrete unit pavers
- proposed transformer

NOT FOR CONSTRUCTION
ISSUED FOR REVIEW & COMMENTS ONLY

REVISIONS/ SUBMISSIONS

#	DATE	DESCRIPTION
1	2025-01-10	Issued for pre UDRP
2	2025-02-26	Issued for UDRP
3	2025-07-21	Issued for first SPA submission

STAMP



CLIENT

Appelt Properties

MUNICIPALITY

City of Ottawa

PROJECT

85 Gemini Way
Ottawa, ON

MUNICIPAL FILE NUMBER

SHEET

Landscape Plan

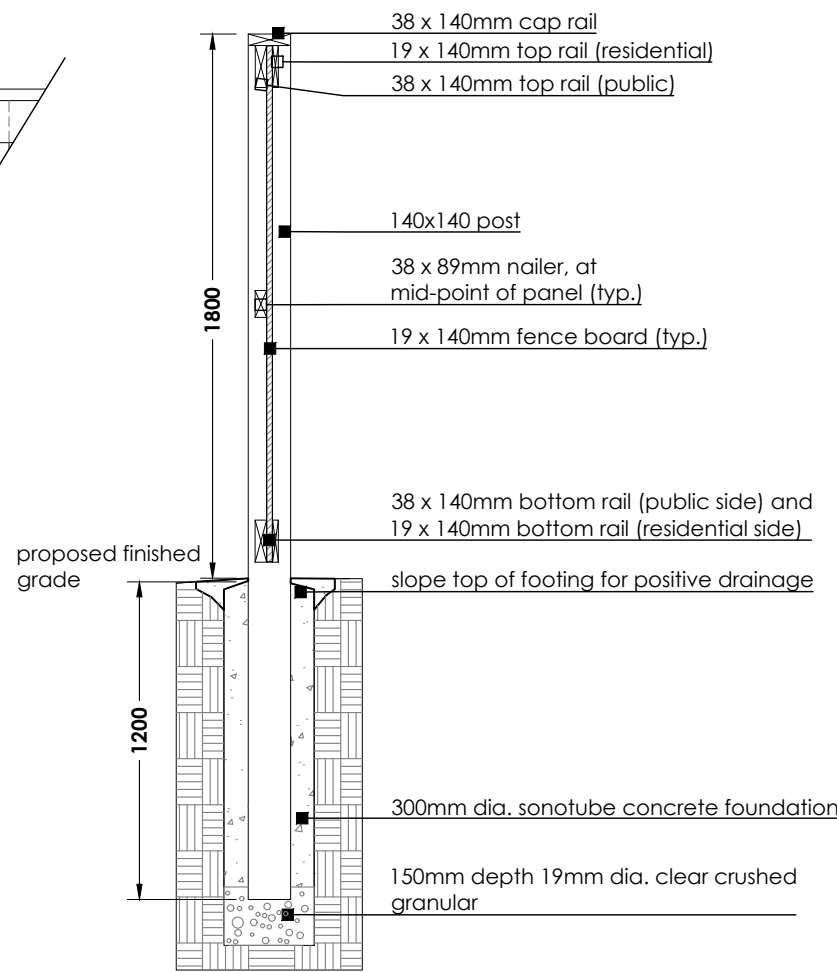
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adesso design inc.
landscape architecture



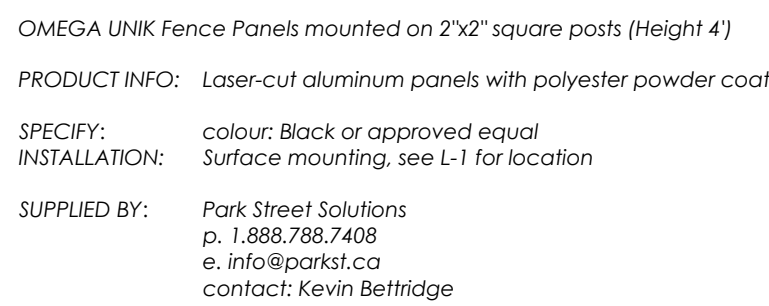
69 John Street South, Suite 250
Hamilton, ON L8N 2B9
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www.adessodesigninc.ca

SECTION



1. All fences adjacent to road allowances and walkways to be erected 0.15m onto private property. Fencing is not to be erected on the lot line or into any road allowance or easement.
2. Footing and excavation to be entirely on proposed development lands.

N.T.S.



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