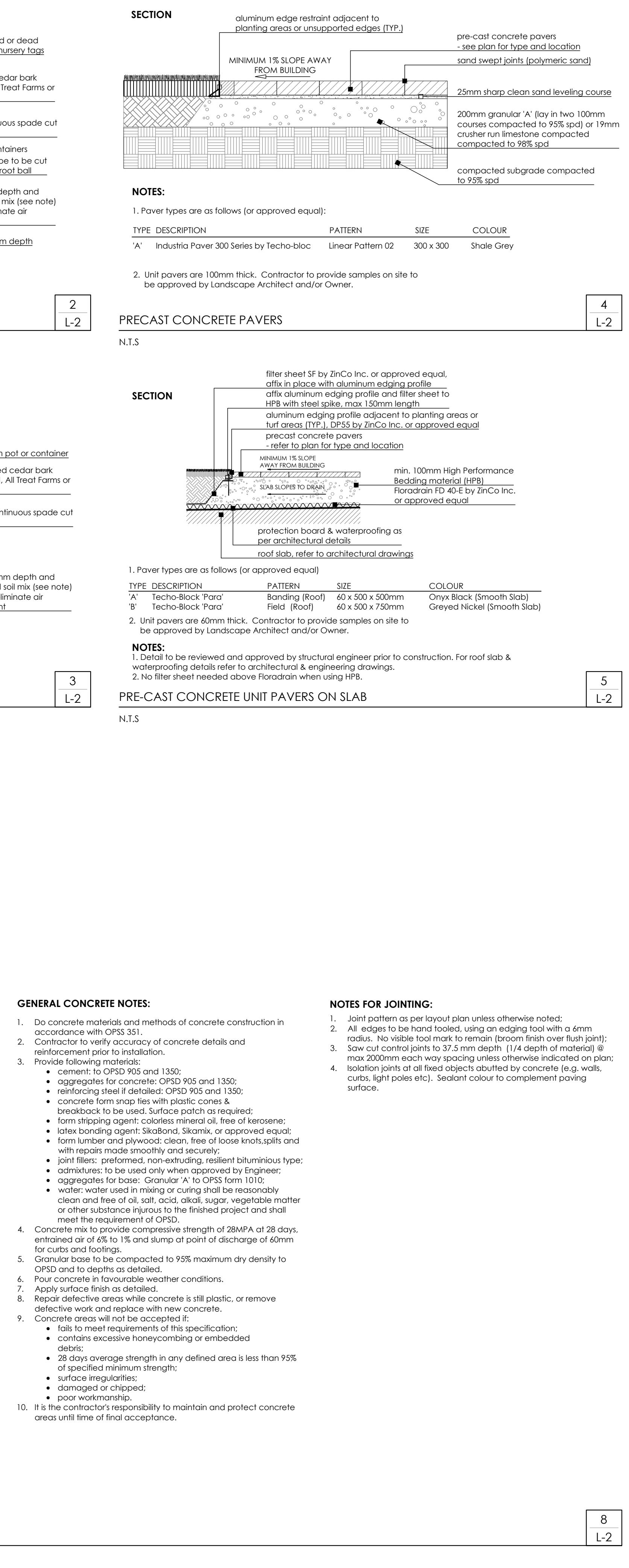
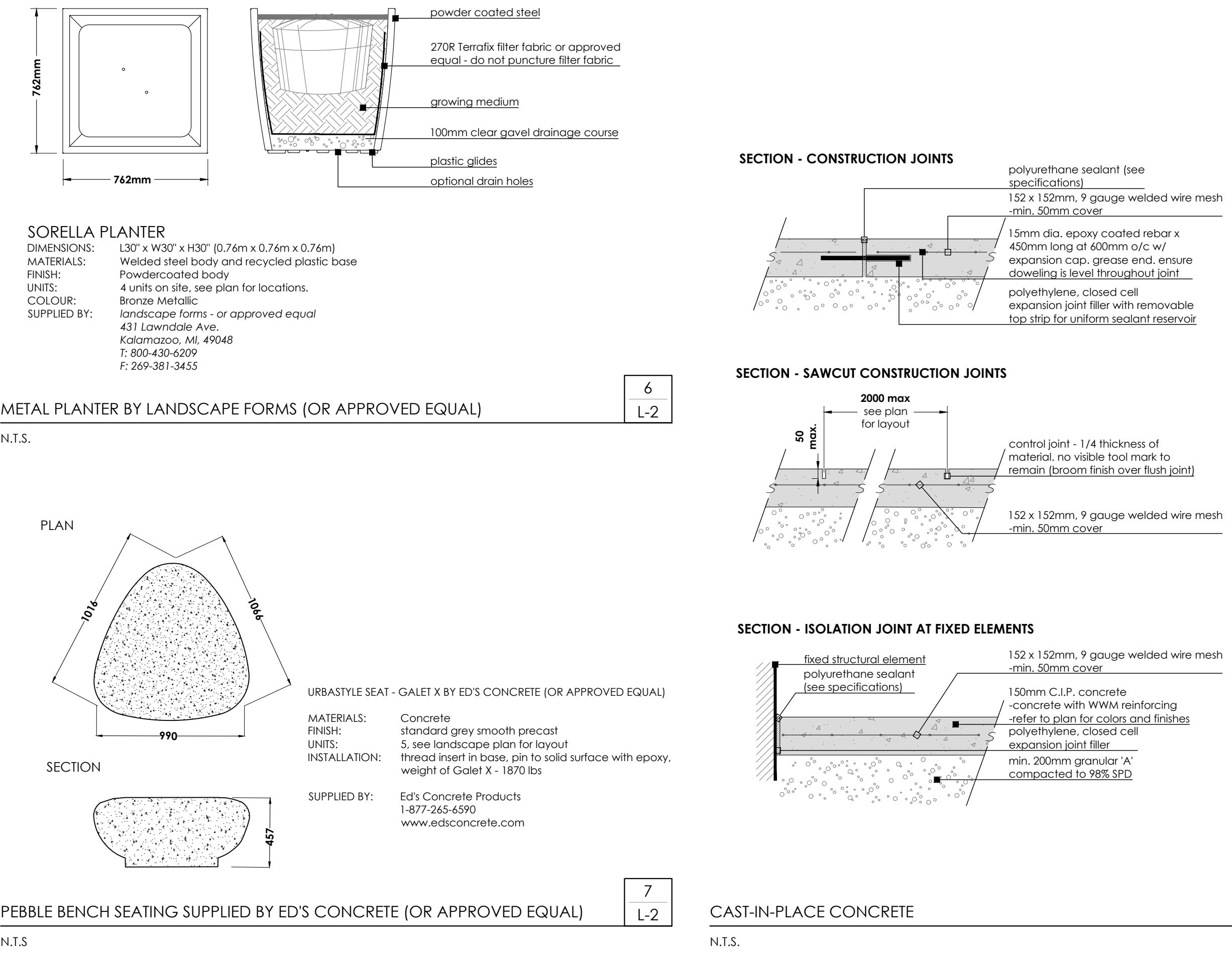
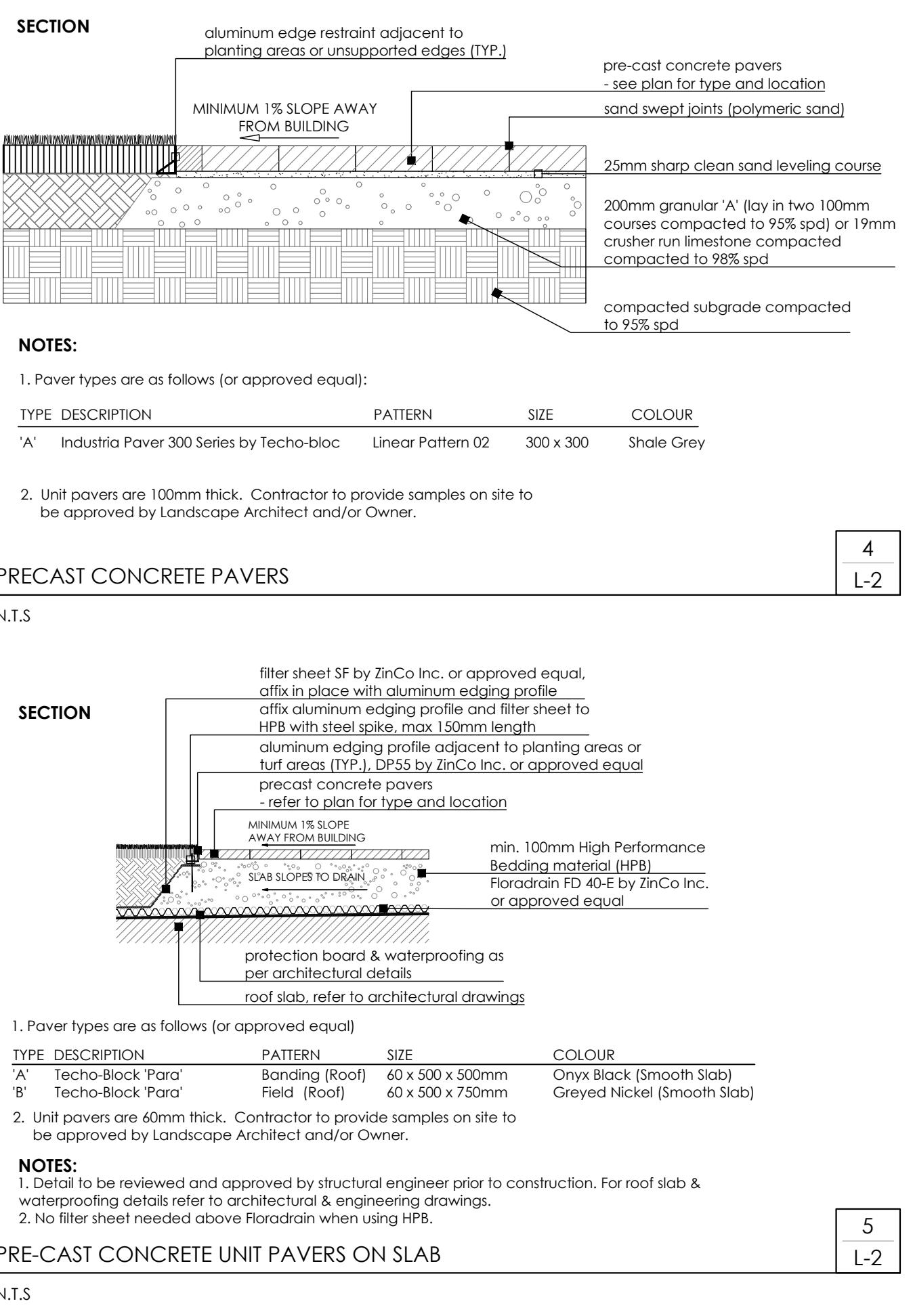
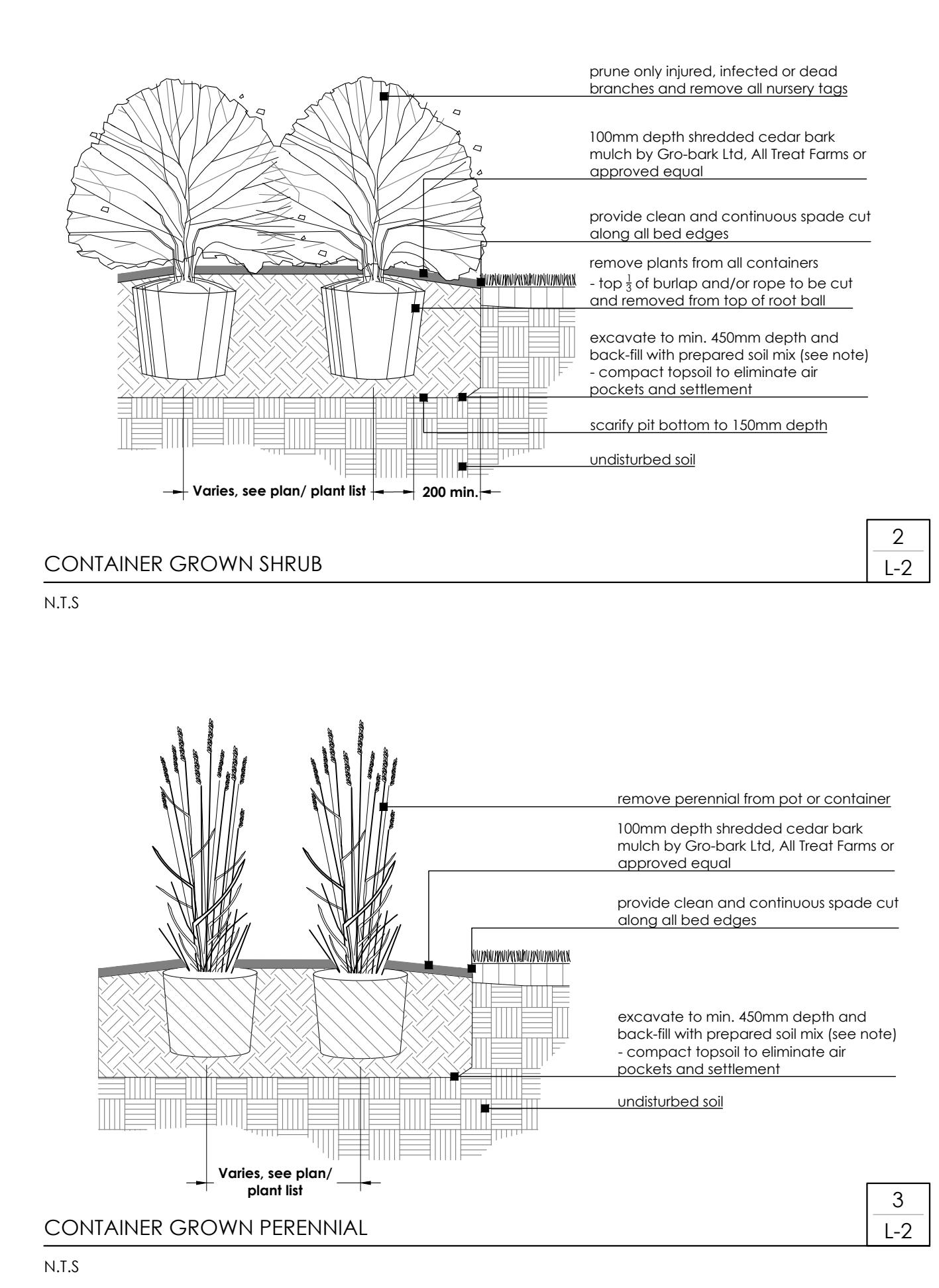
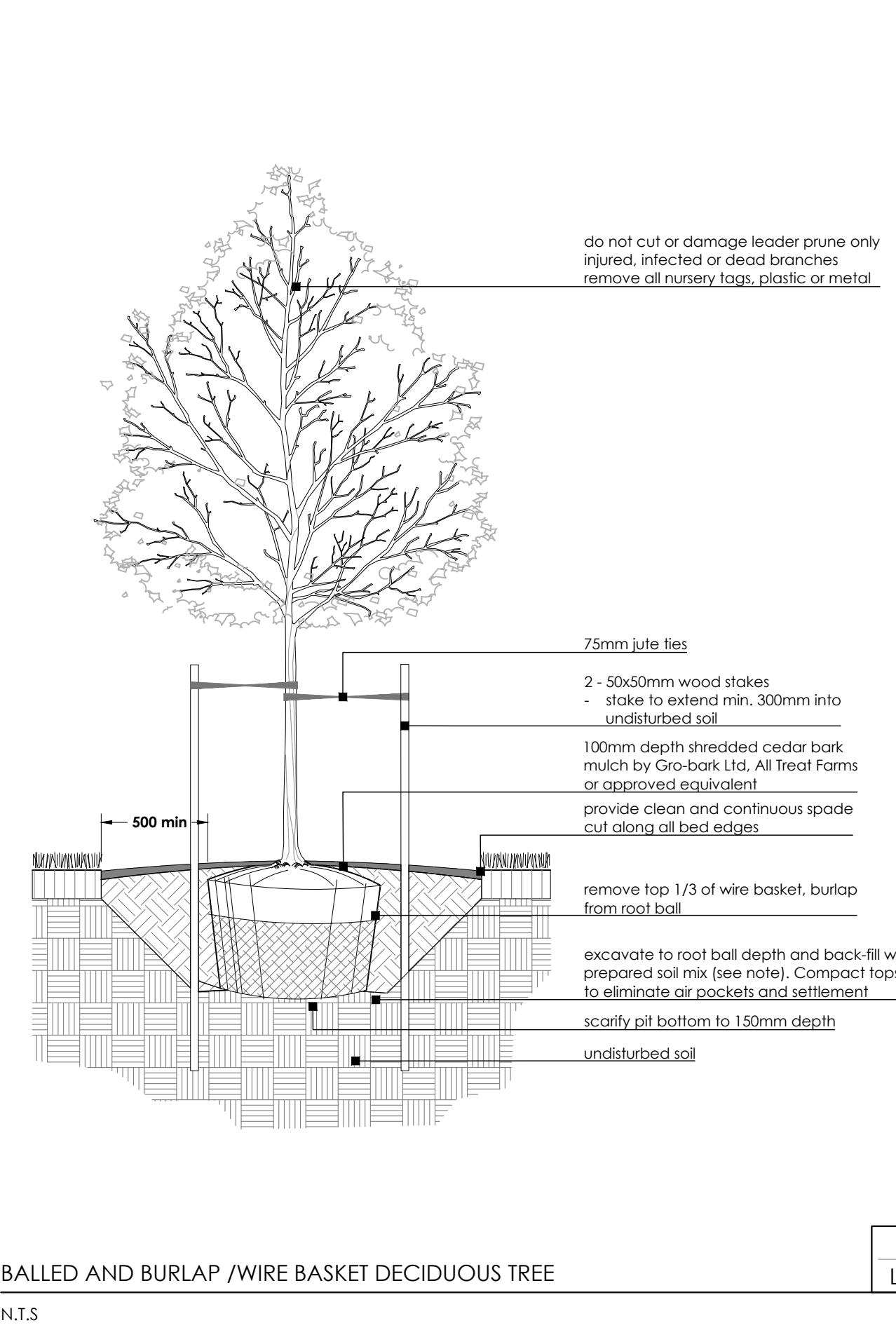
**PLANT SCHEDULE**

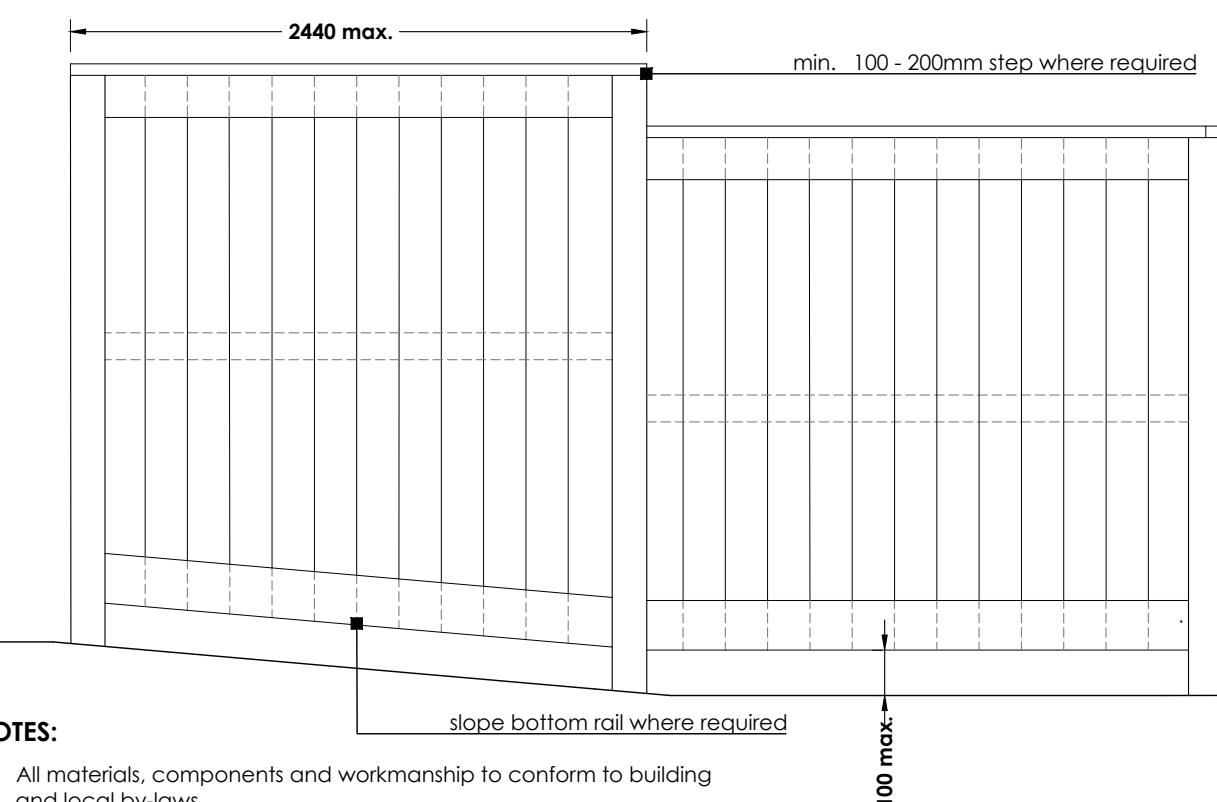
QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	MATURE HT. (M)	MATURE SPR. (M)	O.C. (M)	REMARKS
<b>TREES</b>								
2	Acer griseum	Paperbark Maple	50mm Cal.	W.B.	7.0	6.0	As Shown	
2	Acer saccharum 'Columnare'	Columnar Sugar Maple	50mm Cal.	W.B.	11.0	3.0	As Shown	
5	Amelanchier canadensis	Canadian Serviceberry - Multistem	150mm Ht.	#15 cont.	6.0	4.0	As Shown	Multistem Form, Native to Ontario
5	Amelanchier laevis	Allegheny Serviceberry	50mm Cal.	W.B.	5.0	5.0	As Shown	Native to Ontario
5	Cercis canadensis	Eastern Redbud	50mm Cal.	W.B.	9.0	7.0	As Shown	Native to Ontario
5	Liriodendron tulipifera 'Little Volunteer'	Little Volunteer Tulip Poplar	50mm Cal.	W.B.	7.0	4.0	As Shown	
<b>SHRUBS</b>								
25	Dierilla lonicera	Bush Honeysuckle	40cm	#3 cont.	1.0	1.0	0.90	Native to Ontario
25	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	50cm	#3 cont.	1.1	1.0	0.90	Native to Ontario
25	Ilex verticillata	Winterberry Holly	80cm	#3 cont.	1.75	1.75	1.6	Native to Ontario
24	Juniperus chinensis 'Fairview'	Common Juniper	80cm	#3 cont.	2.25	2.00	0.70	
43	Juniperus chinensis 'Savin'	Savin Juniper	40cm	#3 cont.	1.0	1.25	1.0	
21	Pinus mugo 'Slowmound'	Mugo Pine	50cm	#3 cont.	0.70	1.0	0.90	
4	Sambucus canadensis	Elderberry	50cm	#3 cont.	2.5	2.0	1.75	
117	Spiraea japonica 'Nana'	Alpine Spirea	30cm	#3 cont.	0.30	0.50	0.40	
<b>GRASSES</b>								
163	Festuca glauca	Blue Fescue	-	#1 cont.	0.30	0.30	0.20	
<b>PERENNIALS</b>								
109	Hemerocallis x 'Purple D'Or'	Purple D'Or Daylily	-	#1 cont.	0.50	0.50	0.40	Rebloomer
41	Hosta x 'Blue Wedgewood'	Blue Wedgewood Hosta	-	#1 cont.	0.50	0.60	0.50	
30	Rudbeckia hirta	Black-Eyed Susan	-	#1 cont.	0.60	0.50	0.40	Native to Ontario
28	Tiarella cordifolia	Foamflower	-	#1 cont.	0.10	0.40	0.30	Native to Ontario
<b>GROUND COVERS</b>								
6	Cotoneaster dammeri 'Coral Beauty'	Coral Beauty Cotoneaster	30cm	#3 cont.	0.40	1.5	1.3	

**LANDSCAPE NOTES:**

1. All work to be carried out in accordance with by-laws and codes having jurisdiction over site location.
2. Complete all work to the satisfaction of the Landscape Architect.
3. Report any changes, discrepancies or substitutions to the Landscape Architect for review. Obtain approval from the Landscape Architect before proceeding.
4. It is the contractor's responsibility to determine existing service locations.
5. Exact locations of plant material will be determined by placement of site services such as hydro vaults, meters, utilities, roof rain water leaders, driveways, light standards, etc.
6. All plant material must be to the standard or marked out and approved by the Landscape Architect prior to installation.
7. Supply all plant material in accordance with the Canadian Standards for Nursery Stock (8th ed.).
8. Install plant material according to details shown.
9. Supply and place topsoil in accordance with Canadian Landscape Standard (Section 4, Grading & Drainage and Section 6, Growing Medium) unless otherwise specified. All 5:1 or greater slopes to be graded by a fascia. Contractor to provide necessary erosion control protection as required to ensure soil stabilization and proper seed germination.
10. All dimensions in meters unless otherwise noted.
11. If discrepancies arise between plant material count shown on drawings and plants in the drawing shall be considered correct.
12. Contractor to provide a minimum one (1) year warranty (including trees on municipal property) from date accepted on all work unless otherwise specified.
13. Any site plan or grading and servicing shown is for information only. Not for construction unless stamped, signed and dated by Landscape Architect.
14. Supply and place sod in accordance with Canadian Landscape Standard (Section 7, Lawns & Grass and Section 8, Turfgrass Sod) unless otherwise specified.
15. Supply and place seed in accordance with Canadian Landscape Standard (Section 4, Grading & Drainage and Section 6, Growing Medium) unless otherwise specified. All 5:1 or greater slopes to be graded by a fascia. Contractor to provide necessary erosion control protection as required to ensure soil stabilization and proper seed germination.
16. All dimensions in meters unless otherwise noted.
17. If discrepancies arise between plant material count shown on drawings and plants in the drawing shall be considered correct.
18. Contractor to provide a minimum one (1) year warranty (including trees on municipal property) from date accepted on all work unless otherwise specified.
19. Any site plan or grading and servicing shown is for information only. Not for construction unless stamped, signed and dated by Landscape Architect.
20. Drawings to be reproduced with written consent from Landscape Architect.
21. Drawings not to be reproduced without written consent from Landscape Architect.
22. Approval of landscape plan to be obtained from municipality.
23. All material to be planted a minimum of 1.0m from any swales or ditches.
24. For grading and servicing information refer to the consulting Engineer's drawings.
25. For lighting information and power distribution refer to the electrical consultant's drawings.



## ELEVATION



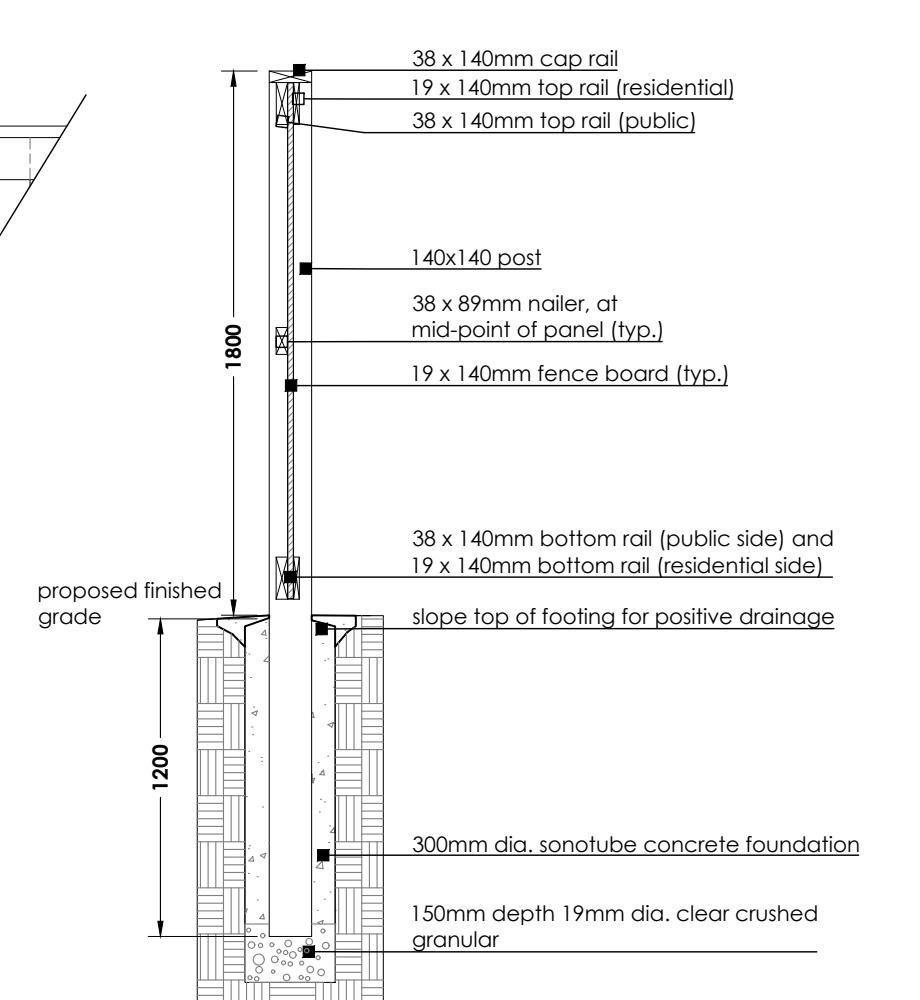
**NOTES:**

1. All materials, components and workmanship to conform to building and local by-laws.
2. All wood to be Pressure Treated (Spruce, Pine Fir) selected mainly for good appearance all members shall be free of wane and bark pockets. All grain shall be eliminated by sanding and planing. All knots shall be moderate to heavy, knots shall be well distributed throughout the site.
3. All cuts and holes that expose untreated wood should be liberally brush-coated with two applications of an end-cut preservative (copper naphthenate in ground contact or zinc naphthenate above ground) before the wood is installed. Follow the manufacturer's recommendations re: the application of suitable preservatives.
4. All wood to bear lumber grading stamp.
5. All fasteners shall have exterior grade finishes suitable for use with Pressure Treated lumber. Stainless steel, galvanized, zinc-dipped or ceramic-coated wood/deck screws are acceptable.
6. Riveting to be hot dipped in conformance to CSA standard C144.
7. Drive all fastener heads below surface of wood. Use sufficient size and quantity of fasteners to ensure a stable, secure structure.
8. Step fence panels minimum of 100-200mm at posts as required by grade conditions. Sloping of panels may be required for certain ground conditions. Sloping of panels is at the approval required.
9. Lumber sizes are actual sizes rather than nominal sizes.
10. Concrete to have minimum compressive strength of 25 MPa @ 28 days with 5-7% air entrainment.
11. See landscape plan for fence location.

## WOOD PRIVACY FENCE (1.8M HEIGHT - PRESSURE TREATED)

N.T.S.

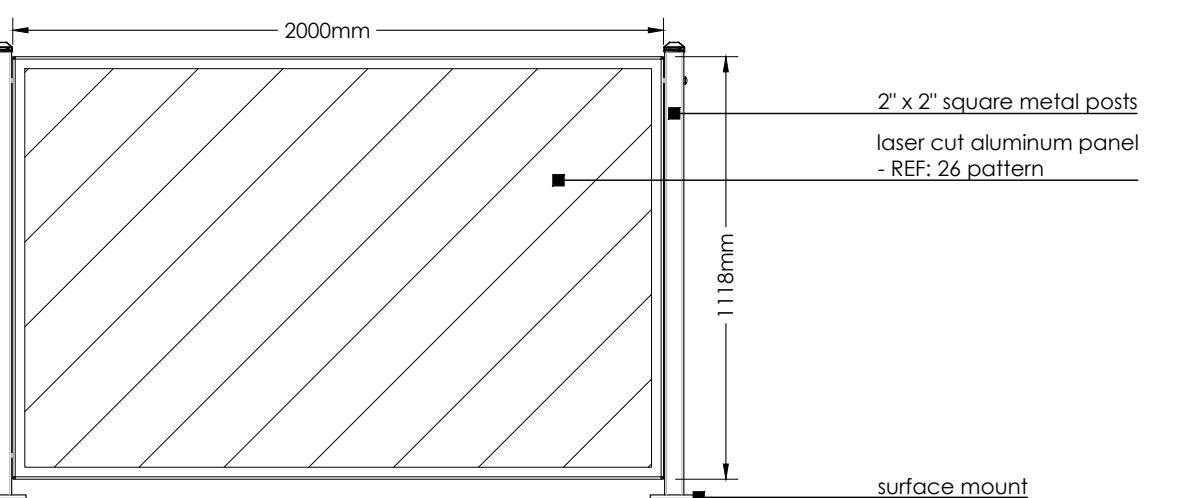
## SECTION



**GENERAL LAYOUT NOTES**

1. All fences adjacent to road allowances and walkways to be erected 0.15m onto private property. Fencing is not to be erected on the lot line or into any road allowance or easement.

2. Footing and excavation to be entirely on proposed development lands.

1  
L-3

## OMEGA UNIK Fence Panels mounted on 2x2" square posts (Height 4')

PRODUCT INFO: Laser-cut aluminum panels with polyester powder coat

SPECIFY: colour: Black or approved equal  
INSTALLATION: Surface mounting, see L-1 for locationSUPPLIED BY: Park Street Solutions  
p. 1.888.788.7406  
e. info@parkst.co  
contact: Kevin Bettidge

## 1.1M HEIGHT DECORATIVE METAL SCREEN - OR APPROVED EQUAL

N.T.S.

2

L-3

**NOT FOR CONSTRUCTION**  
ISSUED FOR REVIEW & COMMENTS ONLY

REVISIONS/ SUBMISSIONS		
#	DATE	DESCRIPTION
1	2025-01-10	Issued for pre UDRP
2	2025-02-26	Issued for UDRP
3	2025-07-21	Issued for first SPA submission

STAMP



CLIENT  
Appelt Properties

MUNICIPALITY  
City of Ottawa

PROJECT  
85 Gemini Way  
Ottawa, ON

MUNICIPAL FILE NUMBER

SHEET  
Details

L-3

adesso design inc.  
landscape architecture