

NOTE:  
THIS SITE PLAN HAS BEEN BASED ON THE  
SURVEYOR'S REAL PROPERTY REPORT PREPARED  
BY J.D. BARNES LTD., DATED SEPTEMBER 04, 2024.

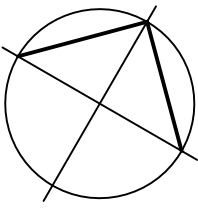
## ZONING INFORMATION

- GENERAL INFORMATION:**
  - LEGAL DESCRIPTION:**  
PT LT 2, CON SRF, PTS 1,2,3, SR5712, EXCEPT PT 1,  
4R11804, T/W IN N742746, OTTAWA/GLOUCESTER
  - TOTAL BUILDING AREA (B.A.):**  
2,987.31m<sup>2</sup>
  - TOTAL GROSS FLOOR AREA (G.F.A.):**  
3,962.09m<sup>2</sup>  
GROUND FLOOR:  
GROUP D (BUSINESS & PERSONAL SERVICES):  
790.73m<sup>2</sup> [8,511.34ft<sup>2</sup>]  
GROUP F, DIV. 2 (MEDIUM HAZARD INDUSTRIAL):  
2,230.04m<sup>2</sup> [24,003.95ft<sup>2</sup>]  
SECOND FLOOR:  
GROUP D (BUSINESS & PERSONAL SERVICES):  
941.32m<sup>2</sup> [10,132.28ft<sup>2</sup>]
  - PROPOSED USE:**  
HEAVY EQUIPMENT & VEHICLE SALES, RENTAL & SERVICING
- ZONING PROVISIONS:**
  - DESIGNATION:**  
GENERAL INDUSTRIAL ZONE (IG3)
  - LOT AREA:**  
REQUIRED: 1,000.00m<sup>2</sup> [10,763.90ft<sup>2</sup>] (MIN.)  
PROPOSED: 48,611.80m<sup>2</sup> [523,253.62ft<sup>2</sup>]
  - LOT FRONTAGE:**  
REQUIRED: 0.00m (MIN.)  
PROPOSED: 103.30m [338.91ft]
  - SETBACKS:**  
**FRONT YARD:**  
REQUIRED: 3.00m [9.84ft] (MIN.)  
PROPOSED: 108.21m [355.02ft]  
**CORNER SIDE YARD:**  
REQUIRED: 3.00m [9.84ft] (MIN.)  
PROPOSED: N/A  
**INTERIOR SIDE YARD:**  
REQUIRED: 3.00m [9.84ft] (MIN.)  
PROPOSED: 34.20m [112.21ft] (MIN.)  
**REAR YARD:**  
REQUIRED: 3.00m [9.84ft] (MIN.)  
PROPOSED: 264.01m [866.18ft]
  - LOT COVERAGE:**  
REQUIRED: 65% (MAX.)  
PROPOSED: 6.6%
  - FLOOR SPACE INDEX (FSI):**  
FSI = (3,962.09m<sup>2</sup> / 48,611.80m<sup>2</sup>) = 0.08
  - BUILDING HEIGHT:**  
REQUIRED: 22.00m [72.17ft] (MAX.)  
PROPOSED: 9.64m [31.64ft]
  - ACCESSORY BUILDING HEIGHT:**  
REQUIRED: 6.00m [19'-8"] (MAX.)  
PROPOSED: 8.08m [26'-6"]
- PARKING (PER SECTIONS 3.30 & 3.41):**
  - PARKING SPACES:**  
**STANDARD SPACES**  
HEAVY EQUIPMENT & VEHICLE SALES, RENTAL & SERVICING  
PROVISION: 0.75 SPACES PER 100m<sup>2</sup> G.F.A.  
(2,230.04m<sup>2</sup> / 100m<sup>2</sup>) x 0.75  
16.72 SPACES = 17.00 SPACES  
**OFFICE**  
PROVISION: 2.40 SPACES PER 100m<sup>2</sup> G.F.A.  
(41,732.05m<sup>2</sup> / 100m<sup>2</sup>) x 2.40  
41.57 SPACES = 42 SPACES  
**STORAGE (ACCESSORY BUILDING)**  
PROVISION: 0.80 SPACES PER 100m<sup>2</sup> G.F.A.  
(221.51m<sup>2</sup> / 100m<sup>2</sup>) x 0.80  
1.77 SPACES = 2.00 SPACES  
REQUIRED: 62 SPACES  
**BARRIER-FREE (B.F.) SPACES:**  
PROVISION: 251-300 STANDARD SPACES = 8  
8 SPACES (4 - TYPE A, 4 - TYPE B)  
**TOTAL REQUIRED:** 8 B.F. + 62 STANDARD  
70 PARKING SPACES  
**TOTAL PROVIDED:** 8 B.F. + 259 STANDARD  
267 PARKING SPACES
  - LOADING SPACES:**  
PROVISION: 2,000m<sup>2</sup> x 4.99m<sup>2</sup> G.F.A. = 2 SPACES  
REQUIRED: 2 SPACES  
PROVIDED: 2 SPACES
  - BICYCLE SPACES:**  
PROVISION: ALL NON-RESIDENTIAL USES  
1 PER 150m<sup>2</sup> G.F.A. = 2 SPACES  
OFFICE  
1 PER 250m<sup>2</sup> G.F.A. = 7 SPACE  
9 SPACES  
10 SPACES  
REQUIRED: 10 SPACES  
PROVIDED: 10 SPACES
  - MOTORCYCLE SPACES:**  
PROVISION: 5% OF PARKING SPACES MAX.  
REQUIRED: 5% = 12 SPACES MAX.  
PROVIDED: 12 SPACES
  - FLEET PARKING SPACES:**  
REQUIRED: N/A  
PROVIDED: 135 SPACES

## SYMBOL LEGEND

- SITE PROPERTY LINE
- ADJACENT PROPERTY LINE
- SETBACK LINE
- ROAD CENTRELINE
- FIRE ROUTE LINE
- NEW CHAIN LINK FENCE
- NEW NOISE DAMPENING FENCE
- MUNICIPAL ROAD BOUNDARY
- SNOW STORAGE AREA BOUNDARY
- DIRECTION OF TRAVEL
- PROPOSED BUILDING
- PROPOSED HEAVY DUTY ASPHALT
- EXISTING GRAVEL
- PROPOSED CONCRETE SIDEWALK
- LANDSCAPED AREA
- PRIMARY BUILDING ENTRANCE OR BARRIER-FREE ENTRANCE
- SECONDARY ENTRANCES / EXITS OR BARRIER-FREE ENTRANCE / EXITS
- OVERHEAD DOOR
- FIRE ROUTE/NO PARKING SIGNAGE INSTALLED 25m MAX. ALONG ROUTE
- BARRIER-FREE PARKING SIGN
- FIRE HYDRANT (EXISTING)
- EXIST. WATER HYDRANT OR MANHOLE
- HYDRO POLE, EXISTING OR NEW
- LIGHT STANDARD, EXISTING OR NEW
- UTILITY POLE, EXISTING OR NEW

North



## Revisions

| No. | By   | Description                  | Date        |
|-----|------|------------------------------|-------------|
| 10  | W.P. | ISSUED FOR SITE PLAN CONTROL | 13 NOV 2025 |
| 09  | W.P. | ISSUED FOR COORDINATION      | 16 OCT 2025 |
| 08  | W.P. | ISSUED FOR SITE PLAN CONTROL | 27 AUG 2025 |
| 07  | T.D. | ISSUED FOR COORDINATION      | 17 JUN 2025 |
| 06  | T.D. | ISSUED FOR COORDINATION      | 28 MAY 2025 |
| 05  | T.D. | ISSUED FOR COORDINATION      | 09 MAY 2025 |
| 04  | W.P. | ISSUED FOR COORDINATION      | 10 APR 2025 |
| 03  | W.P. | ISSUED FOR CLIENT REVIEW     | 25 MAR 2025 |
| 02  | W.P. | ISSUED FOR CLIENT REVIEW     | 05 MAR 2025 |
| 01  | T.D. | ISSUED FOR COORDINATION      | 10 JAN 2025 |

## Project

WO MW REALTY LIMITED  
OFFICE GROUP  
SITE PLAN APPLICATION  
NEW MILLER WASTE FACILITY

3145 CONROY ROAD, OTTAWA, ON

## Drawing

PROPOSED SITE PLAN

Scale

1:500

Stamp

Drawn

W.P.

Checked

C.D.



Project No.

24-151

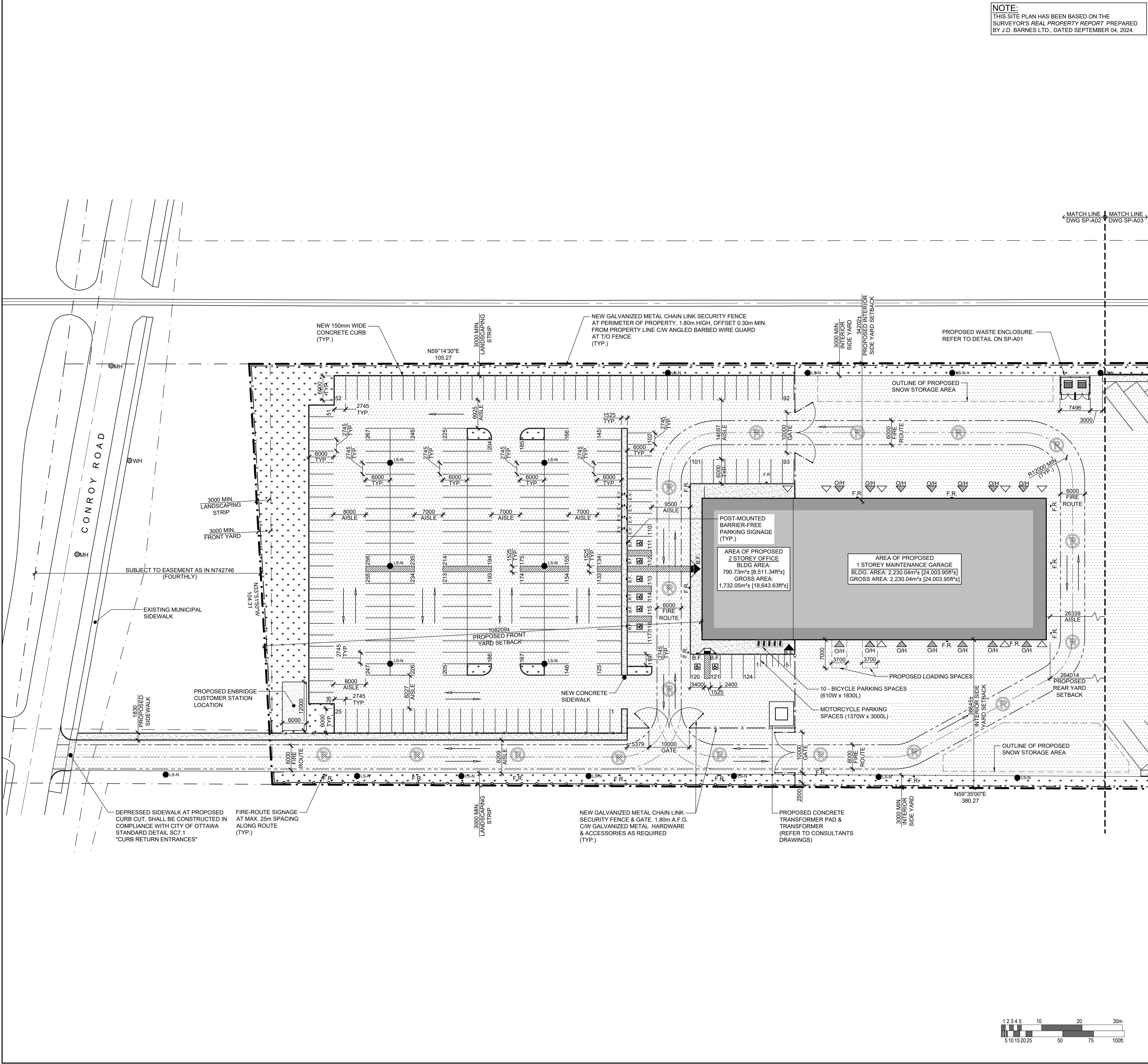
Drawing No.

SP-A01

Date

DECEMBER, 2024





| ZONING INFORMATION                                  |  |
|---|--|
| 1. GENERAL INFORMATION:                             |  |
| 1.1. LEGAL DESCRIPTION:                             | PT LT 2, CON SRF, PTS 1,2,3, SR5712, EXCEPT PT 1, 4R11804, T/W IN N742746, OTTAWA/GLOUCESTER |
| 1.2. TOTAL BUILDING AREA (B.A.):                    | 2,987.31m²   |
| 1.3. TOTAL GROSS FLOOR AREA (G.F.A.):               | 3,962.09m²   |
| GROUND FLOOR:                                       |  |
| GROUP D (BUSINESS & PERSONAL SERVICES):             | 790.73m² [8,511.34ft²]   |
| GROUP F, DIV. 2 (MEDIUM HAZARD INDUSTRIAL):         | 2,230.04m² [24,003.95ft²]  |
| SECOND FLOOR:                                       |  |
| GROUP D (BUSINESS & PERSONAL SERVICES):             | 941.32m² [10,132.28ft²]  |
| 1.4. PROPOSED USE:                                  | HEAVY EQUIPMENT & VEHICLE SALES, RENTAL & SERVICING  |
| 2. ZONING PROVISIONS:                               |  |
| 2.1. DESIGNATION:                                   | GENERAL INDUSTRIAL ZONE (IG3)  |
| 2.2. LOT AREA:                                      | 1,000.00m² [10,763.90ft²] (MIN.)   |
| REQUIRED:   | 48,611.80m² [523,253.62ft²]  |
| 2.3. LOT FRONTAGE:                                  | 0.00m (MIN.)   |
| REQUIRED:   | 103.30m [338.91ft]   |
| 2.4. SETBACKS:                                      |  |
| FRONT YARD:   | 3.00m [9.84ft] (MIN.)  |
| REQUIRED:   | 108.21m [355.02ft]   |
| PROPOSED:   |  |
| CORNER SIDE YARD:                                   | 3.00m [9.84ft] (MIN.)  |
| REQUIRED:   | N/A  |
| PROPOSED:   |  |
| INTERIOR SIDE YARD:                                 | 3.00m [9.84ft] (MIN.)  |
| REQUIRED:   | 34.20m [112.21ft] (MIN.)   |
| PROPOSED:   |  |
| REAR YARD:  | 3.00m [9.84ft] (MIN.)  |
| REQUIRED:   | 264.01m [866.18ft]   |
| PROPOSED:   |  |
| 2.5. LOT COVERAGE:                                  | 65% (MAX.)   |
| REQUIRED:   | 6.6%   |
| PROPOSED:   |  |
| 2.6. FLOOR SPACE INDEX (FSI):                       | FSI = (3,962.09m² / 48,611.80m²) = 0.08  |
| 2.7. BUILDING HEIGHT:                               | 22.00m [72.17ft] (MAX.)  |
| REQUIRED:   | 9.64m [31.64ft]  |
| PROPOSED:   |  |
| 2.8. ACCESSORY BUILDING HEIGHT:                     | 6.00m [19'-8"] (MAX.)  |
| REQUIRED:   | 8.08m [26'-6"]   |
| PROPOSED:   |  |
| 3. PARKING (PER SECTIONS 3.30 & 3.41):              |  |
| 3.1. PARKING SPACES:                                |  |
| STANDARD SPACES                                     |  |
| HEAVY EQUIPMENT & VEHICLE SALES, RENTAL & SERVICING | 0.75 SPACES PER 100m² G.F.A.   |
| PROVISION:  | (2,230.04m² / 100m²) x 0.75  |
| REQUIRED:   | 16.72 SPACES = 17.00 SPACES  |
| OFFICE  | 2.40 SPACES PER 100m² G.F.A.   |
| PROVISION:  | (41,732.05m² / 100m²) x 2.40   |
| REQUIRED:   | 41.57 SPACES = 42 SPACES   |
| STORAGE (ACCESSORY BUILDING)                        | 0.80 SPACES PER 100m² G.F.A.   |
| PROVISION:  | (4,221.51m² / 100m²) x 0.80  |
| REQUIRED:   | 1.77 SPACES = 2.00 SPACES  |
| REQUIRED:   | 62 SPACES  |
| BARRIER-FREE (B.F.) SPACES:                         |  |
| PROVISION:  | 251-300 STANDARD SPACES = 8 SPACES (4 - TYPE A, 4 - TYPE B)                                  |
| REQUIRED:   |  |
| TOTAL REQUIRED:                                     | 8 B.F. + 62 STANDARD 70 PARKING SPACES   |
| TOTAL PROVIDED:                                     | 8 B.F. + 259 STANDARD 267 PARKING SPACES   |
| 3.2. LOADING SPACES:                                |  |
| PROVISION:  | 2,000m²-4,999m² G.F.A. = 2 SPACES  |
| REQUIRED:   | 2 SPACES   |
| PROVIDED:   | 2 SPACES   |
| 3.3. BICYCLE SPACES:                                |  |
| PROVISION:  | ALL NON-RESIDENTIAL USES   |
| REQUIRED:   | 1 PER 150m² G.F.A. = 2 SPACES  |
| PROVIDED:   | 1 PER 250m² G.F.A. = 7 SPACE 9 SPACES 10 SPACES  |
| 3.4. MOTORCYCLE SPACES:                             |  |
| PROVISION:  | 5% OF PARKING SPACES MAX.  |
| REQUIRED:   | 5% = 12 SPACES MAX.  |
| PROVIDED:   | 12 SPACES  |
| 3.5. FLEET PARKING SPACES:                          |  |
| PROVISION:  | N/A  |
| REQUIRED:   | 135 SPACES   |
| PROVIDED:   |  |
| SYMBOL LEGEND                                       |  |
| ---   | SITE PROPERTY LINE   |
| - - -   | ADJACENT PROPERTY LINE   |
| ---   | SETBACK LINE   |
| ---   | ROAD CENTRELINE  |
| ---   | FIRE ROUTE LINE  |
| ---   | NEW CHAIN LINK FENCE   |
| ---   | NEW NOISE DAMPENING FENCE  |
| ---   | MUNICIPAL ROAD BOUNDARY  |
| ---   | SNOW STORAGE AREA BOUNDARY   |
| ---   | DIRECTION OF TRAVEL  |
| ---   | PROPOSED BUILDING  |
| ---   | PROPOSED HEAVY DUTY ASPHALT  |
| ---   | EXISTING GRAVEL  |
| ---   | PROPOSED CONCRETE SIDEWALK   |
| ---   | LANDSCAPED AREA  |
| ---   | PRIMARY BUILDING ENTRANCE OR BARRIER-FREE ENTRANCE   |
| ---   | SECONDARY ENTRANCES / EXITS OR BARRIER-FREE ENTRANCE / EXITS                                 |
| ---   | OVERHEAD DOOR  |
| ---   | FIRE ROUTE/NO PARKING SIGNAGE INSTALLED 25m MAX. ALONG ROUTE                                 |
| ---   | BARRIER-FREE PARKING SIGN  |
| ---   | FIRE HYDRANT (EXISTING)  |
| ---   | EXIST. WATER HYDRANT OR MANHOLE  |
| ---   | HYDRO POLE, EXISTING OR NEW  |
| ---   | LIGHT STANDARD, EXISTING OR NEW  |
| ---   | UTILITY POLE, EXISTING OR NEW  |

DEIMLING

ARCHITECTURE & INTERIOR DESIGN

North

Revisions

| No. | By   | Description                  | Date        |
|-----|------|------------------------------|-------------|
| 10  | W.P. | ISSUED FOR SITE PLAN CONTROL | 13 NOV 2025 |
| 09  | W.P. | ISSUED FOR COORDINATION      | 16 OCT 2025 |
| 08  | W.P. | ISSUED FOR SITE PLAN CONTROL | 27 AUG 2025 |
| 07  | T.D. | ISSUED FOR COORDINATION      | 17 JUN 2025 |
| 06  | T.D. | ISSUED FOR COORDINATION      | 28 MAY 2025 |
| 05  | T.D. | ISSUED FOR COORDINATION      | 09 MAY 2025 |
| 04  | W.P. | ISSUED FOR COORDINATION      | 10 APR 2025 |
| 03  | W.P. | ISSUED FOR CLIENT REVIEW     | 25 MAR 2025 |
| 02  | W.P. | ISSUED FOR CLIENT REVIEW     | 05 MAR 2025 |
| 01  | T.D. | ISSUED FOR COORDINATION      | 10 JAN 2025 |

Project

WO MW REALTY LIMITED  
OFFICE GROUP  
SITE PLAN APPLICATION  
NEW MILLER WASTE FACILITY  
3145 CONROY ROAD, OTTAWA, ON

Drawing

PROPOSED SITE PLAN

Scale

1:500

Stamp

Drawn

W.P.

Checked

C.D.

Project No.

24-151

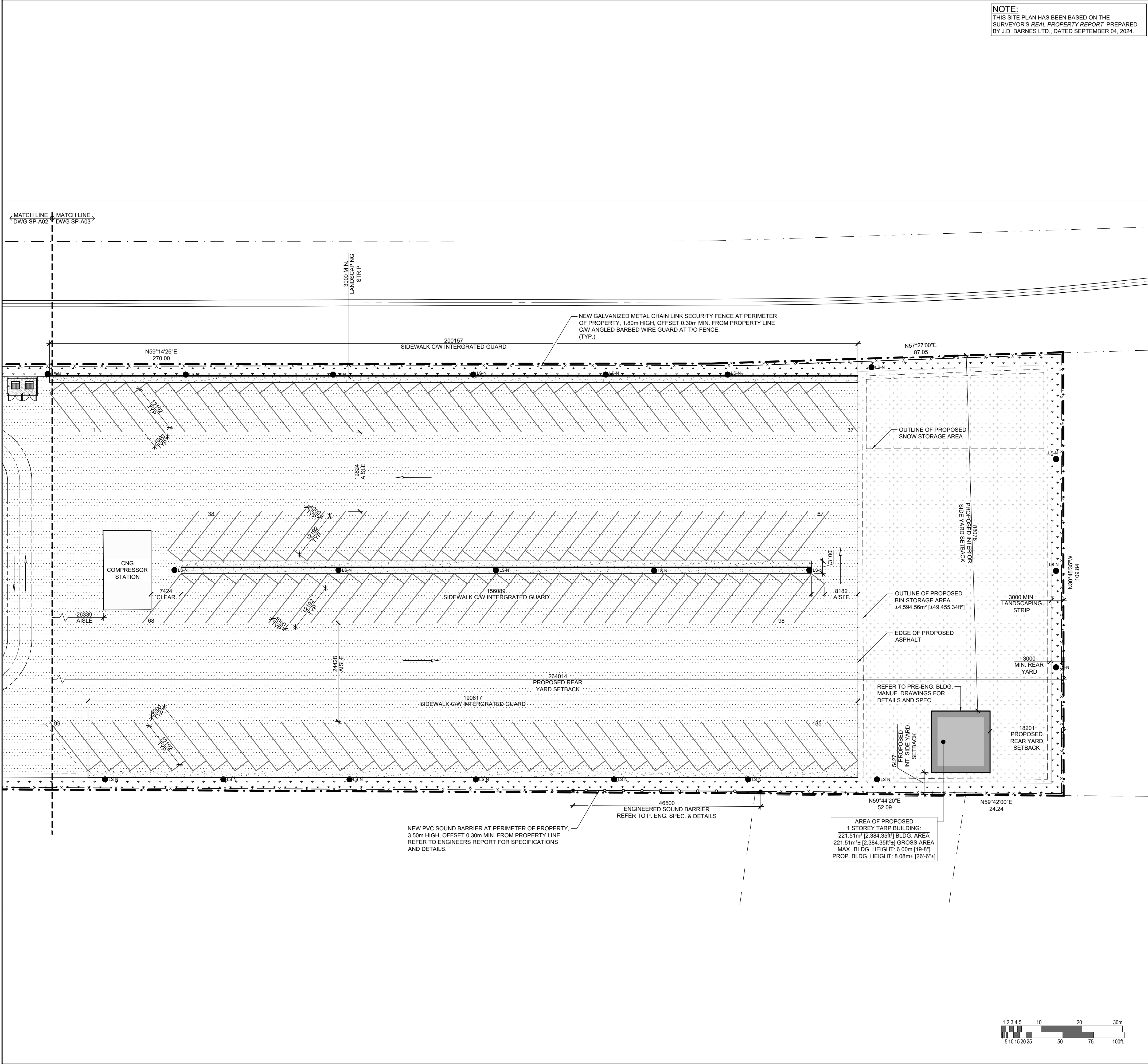
Date

DECEMBER, 2024

Drawing No.

SP-A02





| ZONING INFORMATION                                  |  |
|---|--|
| 1. GENERAL INFORMATION:                             |  |
| 1.1. LEGAL DESCRIPTION:                             | PT LT 2, CON SRF, PTS 1,2,3, SR5712, EXCEPT PT 1, 4R11804, T/W IN N742746, OTTAWA/GLOUCESTER |
| 1.2. TOTAL BUILDING AREA (B.A.):                    | 2,987.31m <sup>2</sup>   |
| 1.3. TOTAL GROSS FLOOR AREA (G.F.A.):               | 3,962.09m <sup>2</sup>   |
| GROUND FLOOR:                                       |  |
| GROUP D (BUSINESS & PERSONAL SERVICES):             | 790.73m <sup>2</sup> [8,511.34ft <sup>2</sup> ]  |
| GROUP F, DIV. 2 (MEDIUM HAZARD INDUSTRIAL):         | 2,230.04m <sup>2</sup> [24,003.95ft <sup>2</sup> ]   |
| SECOND FLOOR:                                       |  |
| GROUP D (BUSINESS & PERSONAL SERVICES):             | 941.32m <sup>2</sup> [10,132.28ft <sup>2</sup> ]   |
| 1.4. PROPOSED USE:                                  | HEAVY EQUIPMENT & VEHICLE SALES, RENTAL & SERVICING  |
| 2. ZONING PROVISIONS:                               |  |
| 2.1. DESIGNATION:                                   | GENERAL INDUSTRIAL ZONE (IG3)  |
| 2.2. LOT AREA:                                      | 1,000.00m <sup>2</sup> [10,763.90ft <sup>2</sup> ] (MIN.)                                    |
| REQUIRED:   | 48,611.80m <sup>2</sup> [523,253.62ft <sup>2</sup> ]   |
| 2.3. LOT FRONTAGE:                                  | 0.00m (MIN.)   |
| REQUIRED:   | 103.30m [338.91ft]   |
| 2.4. SETBACKS:                                      |  |
| FRONT YARD:   |  |
| REQUIRED:   | 3.00m [9.84ft] (MIN.)  |
| PROPOSED:   | 108.21m [355.02ft]   |
| CORNER SIDE YARD:                                   |  |
| REQUIRED:   | 3.00m [9.84ft] (MIN.)  |
| PROPOSED:   | N/A  |
| INTERIOR SIDE YARD:                                 |  |
| REQUIRED:   | 3.00m [9.84ft] (MIN.)  |
| PROPOSED:   | 34.20m [112.21ft] (MIN.)   |
| REAR YARD:  |  |
| REQUIRED:   | 3.00m [9.84ft] (MIN.)  |
| PROPOSED:   | 264.01m [866.18ft]   |
| 2.5. LOT COVERAGE:                                  |  |
| REQUIRED:   | 65% (MAX.)   |
| PROPOSED:   | 6.6%   |
| 2.6. FLOOR SPACE INDEX (FSI):                       |  |
| REQUIRED:   | FSI = (3,962.09m <sup>2</sup> / 48,611.80m <sup>2</sup> ) = 0.08                             |
| 2.7. BUILDING HEIGHT:                               |  |
| REQUIRED:   | 22.00m [72.17ft] (MAX.)  |
| PROPOSED:   | 9.64m [31.64ft]  |
| 2.8. ACCESSORY BUILDING HEIGHT:                     |  |
| REQUIRED:   | 6.00m [19'-8"] (MAX.)  |
| PROPOSED:   | 8.08m [26'-6"]   |
| 3. PARKING (PER SECTIONS 3.30 & 3.41):              |  |
| 3.1. PARKING SPACES:                                |  |
| STANDARD SPACES                                     |  |
| HEAVY EQUIPMENT & VEHICLE SALES, RENTAL & SERVICING |  |
| PROVISION:  | 0.75 SPACES PER 100m <sup>2</sup> G.F.A.   |
| REQUIRED:   | (2,230.04m <sup>2</sup> / 100m <sup>2</sup> ) x 0.75   |
|   | 16.72 SPACES = 17.00 SPACES  |
| OFFICE  |  |
| PROVISION:  | 2.40 SPACES PER 100m <sup>2</sup> G.F.A.   |
| REQUIRED:   | (41,732.05m <sup>2</sup> / 100m <sup>2</sup> ) x 2.40  |
|   | 41.57 SPACES = 42 SPACES   |
| STORAGE (ACCESSORY BUILDING)                        |  |
| PROVISION:  | 0.80 SPACES PER 100m <sup>2</sup> G.F.A.   |
| REQUIRED:   | (221.51m <sup>2</sup> / 100m <sup>2</sup> ) x 0.80   |
|   | 1.77 SPACES = 2.00 SPACES  |
| REQUIRED:   | 62 SPACES  |
| BARRIER-FREE (B.F.) SPACES:                         |  |
| PROVISION:  | 251-300 STANDARD SPACES = 8  |
| REQUIRED:   | 8 SPACES (4-TYPE A, 4-TYPE B)  |
| TOTAL REQUIRED:                                     | 8 B.F. + 62 STANDARD   |
|   | 70 PARKING SPACES  |
| TOTAL PROVIDED:                                     | 8 B.F. + 259 STANDARD  |
|   | 267 PARKING SPACES   |
| 3.2. LOADING SPACES:                                |  |
| PROVISION:  | 2,000m <sup>2</sup> x 4.99m <sup>2</sup> G.F.A. = 2 SPACES                                   |
| REQUIRED:   | 2 SPACES   |
| PROVIDED:   | 2 SPACES   |
| 3.3. BICYCLE SPACES:                                |  |
| PROVISION:  | ALL NON-RESIDENTIAL USES   |
|   | 1 PER 500m <sup>2</sup> G.F.A. = 2 SPACES  |
|   | OFFICE   |
|   | 1 PER 250m <sup>2</sup> G.F.A. = 7 SPACE   |
|   | 9 SPACES   |
| REQUIRED:   | 10 SPACES  |
| PROVIDED:   |  |
| 3.4. MOTORCYCLE SPACES:                             |  |
| PROVISION:  | 5% OF PARKING SPACES MAX.  |
| REQUIRED:   | 5% = 12 SPACES MAX.  |
| PROVIDED:   | 12 SPACES  |
| 3.5. FLEET PARKING SPACES:                          |  |
| REQUIRED:   | N/A  |
| PROVIDED:   | 135 SPACES   |
| SYMBOL LEGEND                                       |  |
| ---   | SITE PROPERTY LINE   |
| ---   | ADJACENT PROPERTY LINE   |
| ---   | SETBACK LINE   |
| ---   | ROAD CENTRELINE  |
| ---   | FIRE ROUTE LINE  |
| ---   | NEW CHAIN LINK FENCE   |
| ---   | NEW NOISE DAMPENING FENCE  |
| ---   | MUNICIPAL ROAD BOUNDARY  |
| ---   | SNOW STORAGE AREA BOUNDARY   |
| ---   | DIRECTION OF TRAVEL  |
| ---   | PROPOSED BUILDING  |
| ---   | PROPOSED HEAVY DUTY ASPHALT  |
| ---   | EXISTING GRAVEL  |
| ---   | PROPOSED CONCRETE SIDEWALK   |
| ---   | LANDSCAPED AREA  |
| ---   | PRIMARY BUILDING ENTRANCE OR BARRIER-FREE ENTRANCE   |
| ---   | SECONDARY ENTRANCES / EXITS OR BARRIER-FREE ENTRANCE / EXITS                                 |
| ---   | O.H.   |
| ---   | OVERHEAD DOOR  |
| ---   | FIRE ROUTE/NO PARKING SIGNAGE  |
| ---   | INSTALLED 25m MAX. ALONG ROUTE   |
| ---   | BARRIER-FREE PARKING SIGN  |
| ---   | FIRE HYDRANT (EXISTING)  |
| ---   | EXIST. WATER HYDRANT OR MANHOLE  |
| ---   | HYDRO POLE, EXISTING OR NEW  |
| ---   | LIGHT STANDARD, EXISTING OR NEW  |
| ---   | UTILITY POLE, EXISTING OR NEW  |

DEIMLING

ARCHITECTURE & INTERIOR DESIGN

North

Revisions

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| 09  | W.P. | ISSUED FOR COORDINATION      | 16 OCT 2025 |
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Project

WO MW REALTY LIMITED  
OFFICE GROUP  
SITE PLAN APPLICATION  
NEW MILLER WASTE FACILITY  
3145 CONROY ROAD, OTTAWA, ON

Drawing

PROPOSED SITE PLAN

Scale

1:500

Stamp

Drawn

W.P.

Checked

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Project No.

24-151

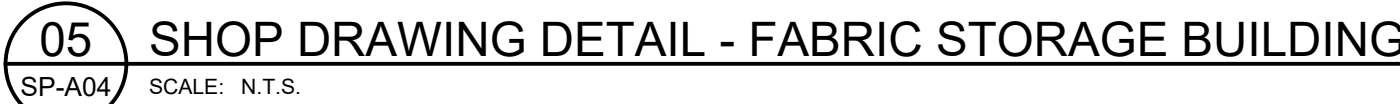
Date

DECEMBER, 2024

Drawing No.

SP-A03





- 04 GENERAL NOTES  
SP-A04 SCALE: N.T.S.

Project

3145 CONROY ROAD, OTTAWA, ON

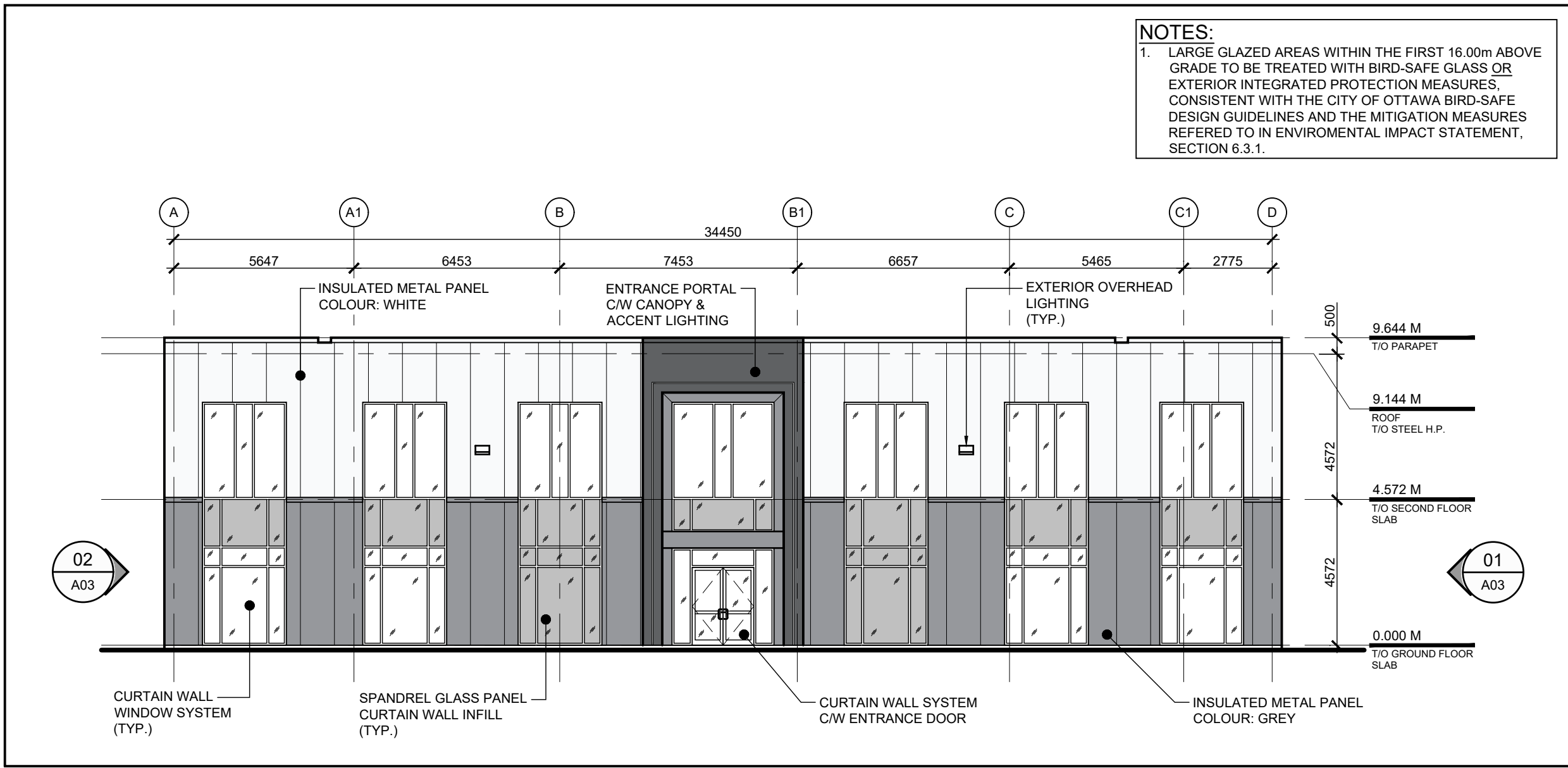


ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
CHRISTOPHER LEE DEIMLING  
LICENCE  
6238

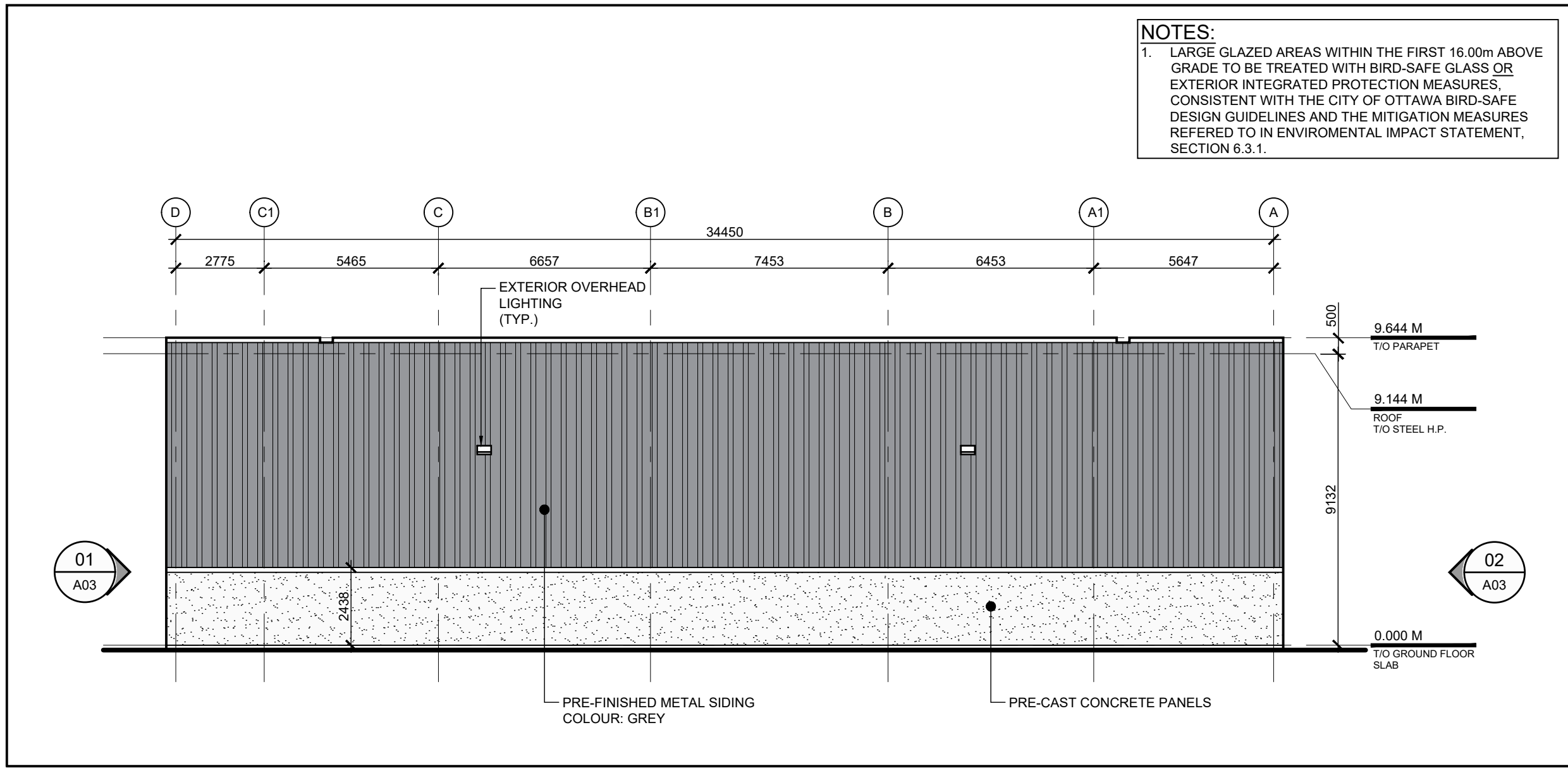
SP-A04



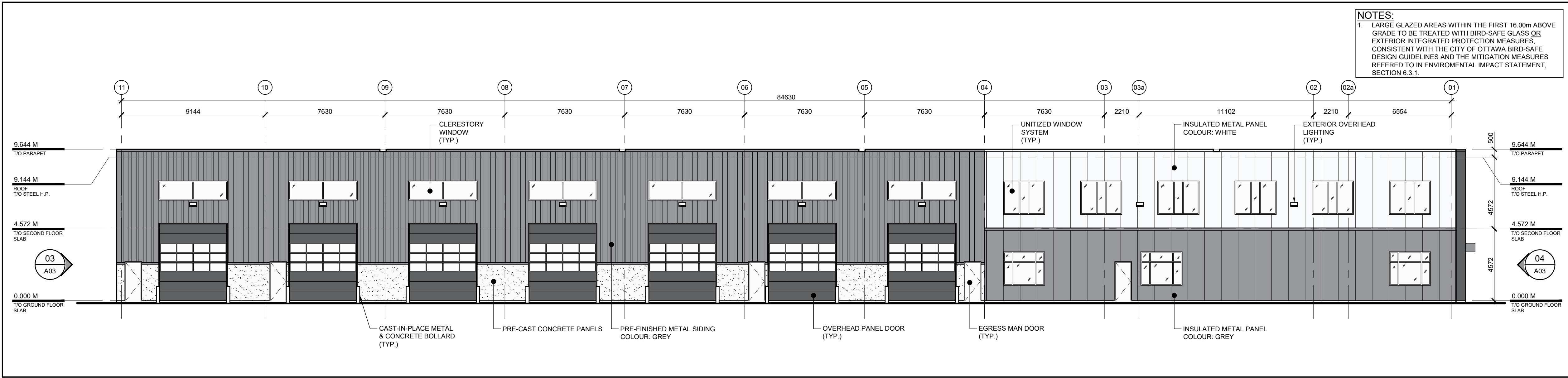




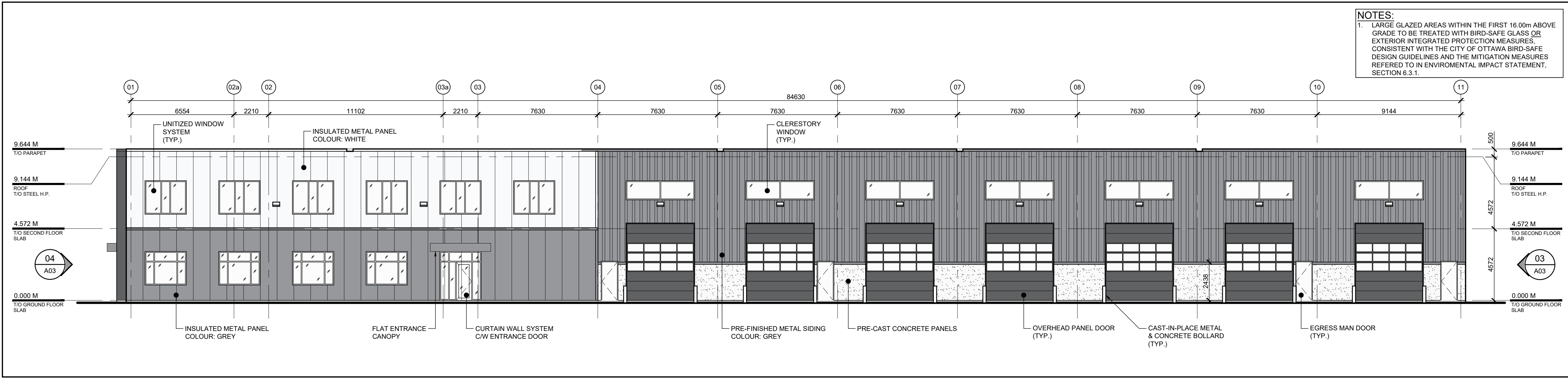
04 EAST ELEVATION  
A03 SCALE: 1:150



03 WEST ELEVATION  
A03 SCALE: 1:150



02 NORTH ELEVATION  
A03 SCALE: 1:150



01 SOUTH ELEVATION  
A03 SCALE: 1:150

North

Revisions

| No. | By   | Description                  | Date        |
|-----|------|------------------------------|-------------|
|     |      |                              |             |
|     |      |                              |             |
|     |      |                              |             |
|     |      |                              |             |
|     |      |                              |             |
|     |      |                              |             |
|     |      |                              |             |
| 04  | W.P. | ISSUED FOR SITE PLAN CONTROL | 13 NOV 2025 |
| 03  | W.P. | ISSUED FOR SITE PLAN CONTROL | 27 AUG 2025 |
| 02  | A.P. | ISSUED FOR CLIENT REVIEW     | 15 AUG 2025 |
| 01  | W.P. | ISSUED FOR CLIENT REVIEW     | 24 JUL 2025 |

Project

WO MW REALTY LIMITED  
OFFICE GROUP  
SITE PLAN APPLICATION  
NEW MILLER WASTE FACILITY

3145 CONROY ROAD, OTTAWA, ON

Drawing

PROPOSED  
EXTERIOR ELEVATIONS

Scale AS NOTED

Drawn J.M.

Checked W.P.

Project No. 24-151

Date DECEMBER, 2024

Drawing No.

A03

