

July 15, 2025

May Pham

Senior Land Development Manager
Richcraft Homes
2280 St. Laurent Boulevard, Suite 201
Ottawa, ON K1G 4K1

Via Email: mpham@richcraft.com

**RE: 815 Roger Griffiths Avenue
Urban Design Brief**

Dear Ms. Pham,

In support of the Site Plan Control Application for the lands at 815 Roger Griffiths Avenue in the City of Ottawa, please find our Urban Design Brief enclosed. Per the Urban Design Brief Terms of Reference received from City staff following the pre-consultation meeting taking place May 6, 2025, alternative site plan options and responses to the urban design direction provided are included below.

The proposed development consists of residential uses on two separate lots: two (2) accessible 26-unit 3-storey low-rise apartment buildings ("SP-1a") and six blocks of stacked dwellings totalling 63 dwellings ("SP-1b"). SP-1a, the western portion of the site abutting Roger Griffiths Avenue, has an area of 5,816.7 square metres which includes 82 parking spaces and 568 square metres of amenity area. SP-1b, on the eastern portion of the site, has an area of 8,854.3 square metres and 754.5 square metres of amenity area. The proposed development provides a diverse array of in-demand housing typologies in a location near future rapid transit, is supported by technical studies, and is in conformity with applicable design guidelines and the Official Plan.

The proposed development anticipates forthcoming combined consent and minor variance applications. The purpose of the consent application is to sever the SP-1a development area from SP-1b development area as the latter will be subject to a future plan of condominium application. The minor variance application concerns the rear yard setback abutting Ploughshare Road and the height of the apartment buildings. The required variances meet the *Four Tests of the Planning Act*, to be discussed through the requisite application, and the site plan is otherwise compliant with the Zoning By-law.

Should any questions regarding the proposed development arise, please do not hesitate to contact the undersigned.

Sincerely,



Kenneth Blouin, MPL
Planner



Scott Alain, MCIP RPP
Planner

Ottawa
420 O'Connor Street
Ottawa, ON K2P 1W4
613.730.5709

Kingston
The Woolen Mill
4 Cataraqui Street, Suite 315
Kingston, ON K7K 1Z7
613.542.5454

Toronto
174 Spadina Avenue, Suite
304
Toronto, ON M5T 2C2
416.789.4530

fotenn.com

1.0 Response to Urban Design Directions

The following comments were received from staff as part of pre-consultation feedback dated June 2, 2025.

1.1 I recommend orienting the two low-rise buildings to be parallel with the street they face.

The orientation of the apartment buildings is limited by the design dynamics of the underground parking access. The proposed orientation also allows for the opportunity to provide larger planters which improve the streetscape.

1.2 I recommend designing the entrances fronting the public right of way read as main entrances and not rear exits to support the streetscape and connect with the surrounding community.

Per the submitted building elevations, entrances of the ground floor units facing Roger Griffiths Avenue connect to the streetscape and provide tenant access. Nonetheless, due to the accessible design of the apartment buildings, internal access is expected to be used more frequently.

The street elevation has an active façade with balconies and terraces providing eyes on the street. Five units in each building at the first floor have private terraces with stair connections to lower patios and private gardens, providing a vivid interface with the public realm.

1.3 I recommend considering locating the amenity space in SP-1b in an area not completely surrounded by roads and parking to better function as a place of repose on the site.

The relocation of the amenity space cannot be accommodated due to site constraints, but impacts are mitigated by generous landscaping and further framed by the location of the accessory building and Block 6. The parking area is very low-traffic as no through-access is provided. The amenity area dimensions and separation have been improved for the new submission. The amenity area placement is consistent with similar Richcraft sites which have historically been supported by staff.

1.4 I recommend providing benches, gazebos, some means of shade, trees and landscaping within the amenity areas to ensure they are used as amenity and not just areas of sod.

Amenity areas are programmed per the attached landscape plan, featuring enhanced walkways, seating, and medium canopy trees. The approach will be consistent with Richcraft's similarly scaled, high-quality amenity spaces throughout the City.

1.5 I recommend illustrating all of the trees intended in the design on a landscape plan for review.

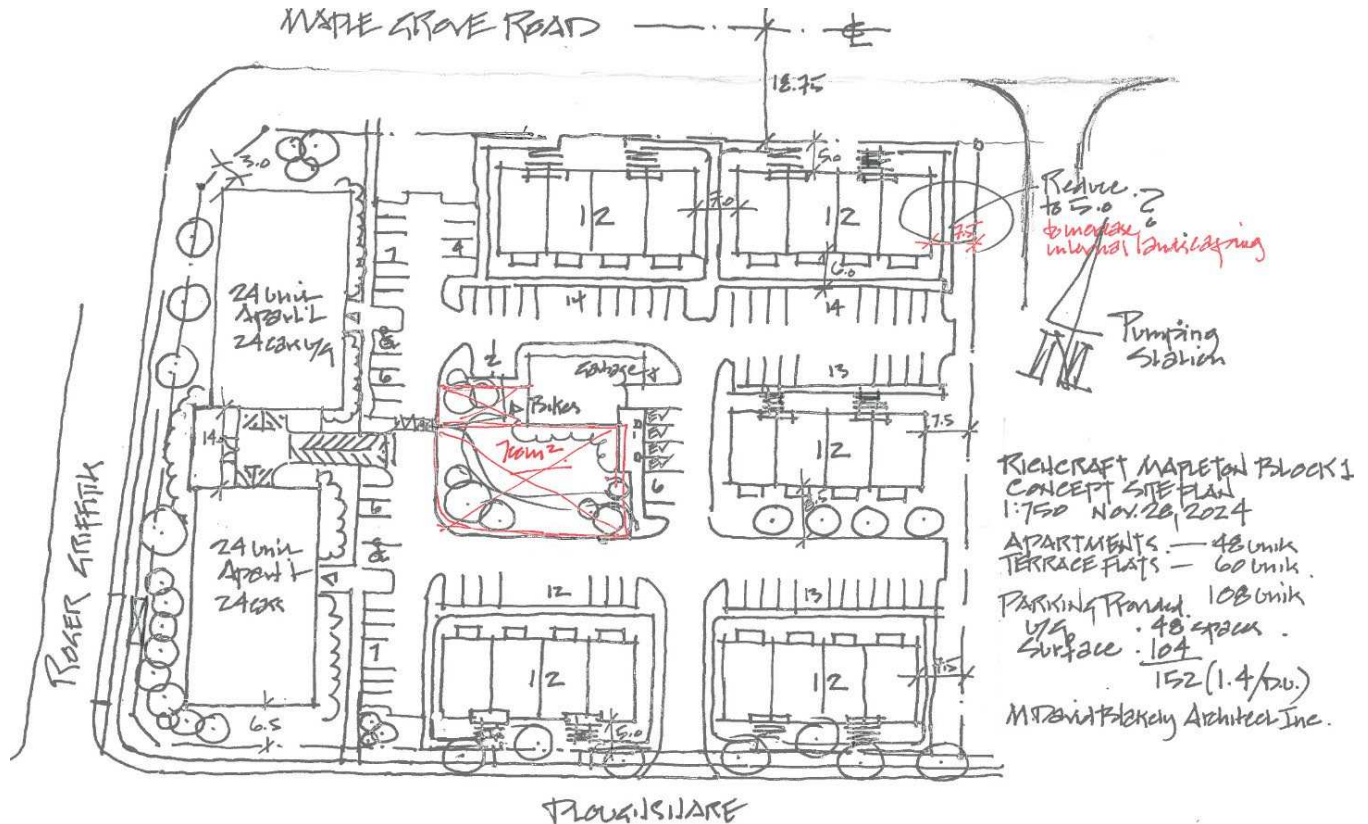
A landscape plan with planting details has been provided with this submission.

2.0 Alternative Site Plan Options

Further to the direction of City of Ottawa Urban Design Staff, examples of alternative site plan options are provided below.

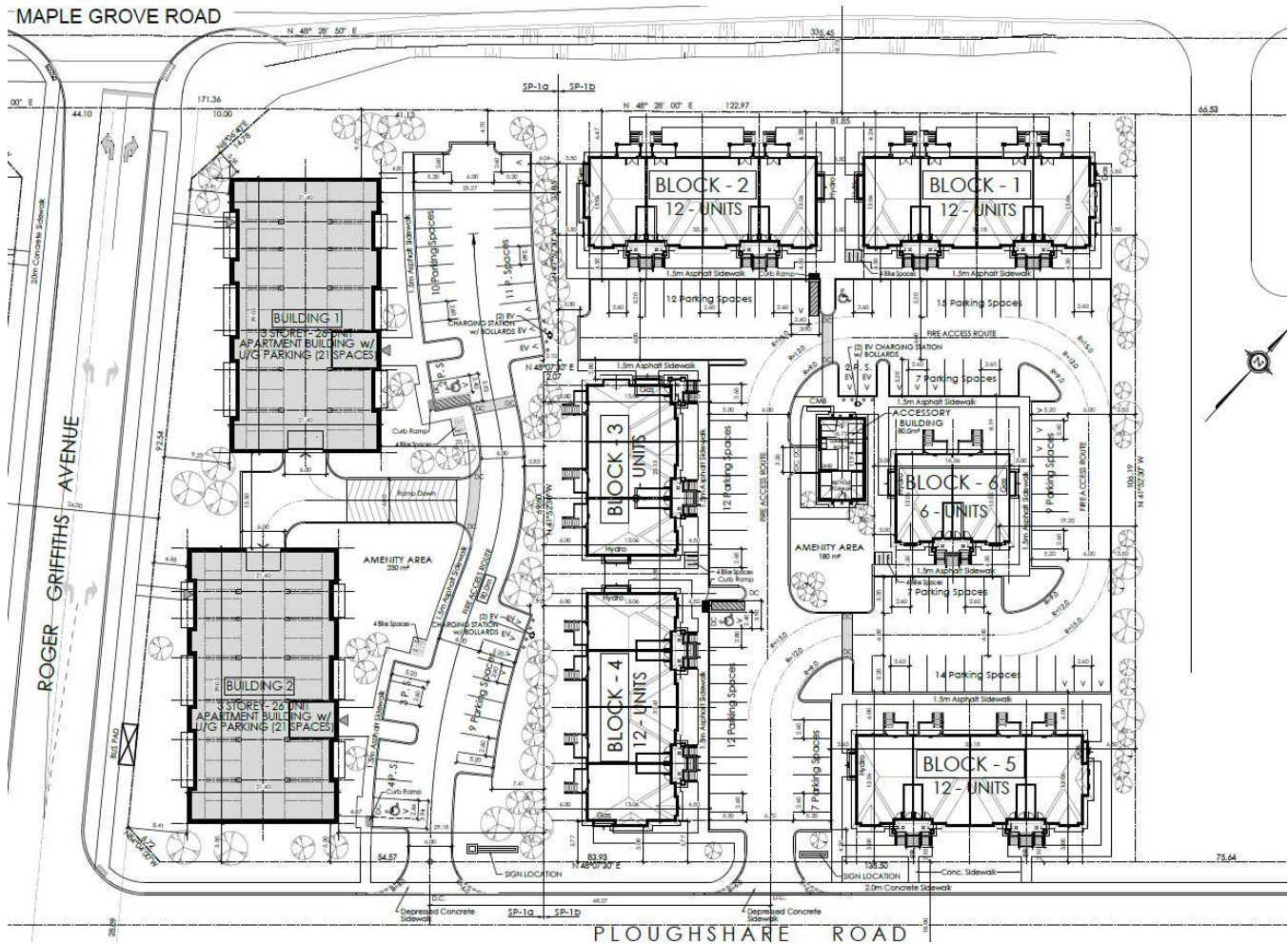
Option 1

Option 1 advances a concept plan for a single lot development prior to the decision to sever for a distinction between typology as well as rental and condominium. The currently proposed site plan reduces the scale of internal vehicle circulation by fully separating the accesses and locates the amenity area in an area that is more insulated from vehicles.



Option 2

Option 2 shows the site plan presented to City staff during pre-application consultation. The amenity area is more exposed and vulnerable to vehicle circulation in comparison to the final concept which incorporated some of the feedback received at the pre-application consultation.



Option 3

Option 3 represents the site plan submitted with this application. The site plan has been adapted to reduce paved area in favour of amenity area on SP-1b. Additional landscaping is proposed through the optimization of the drive aisle network.

