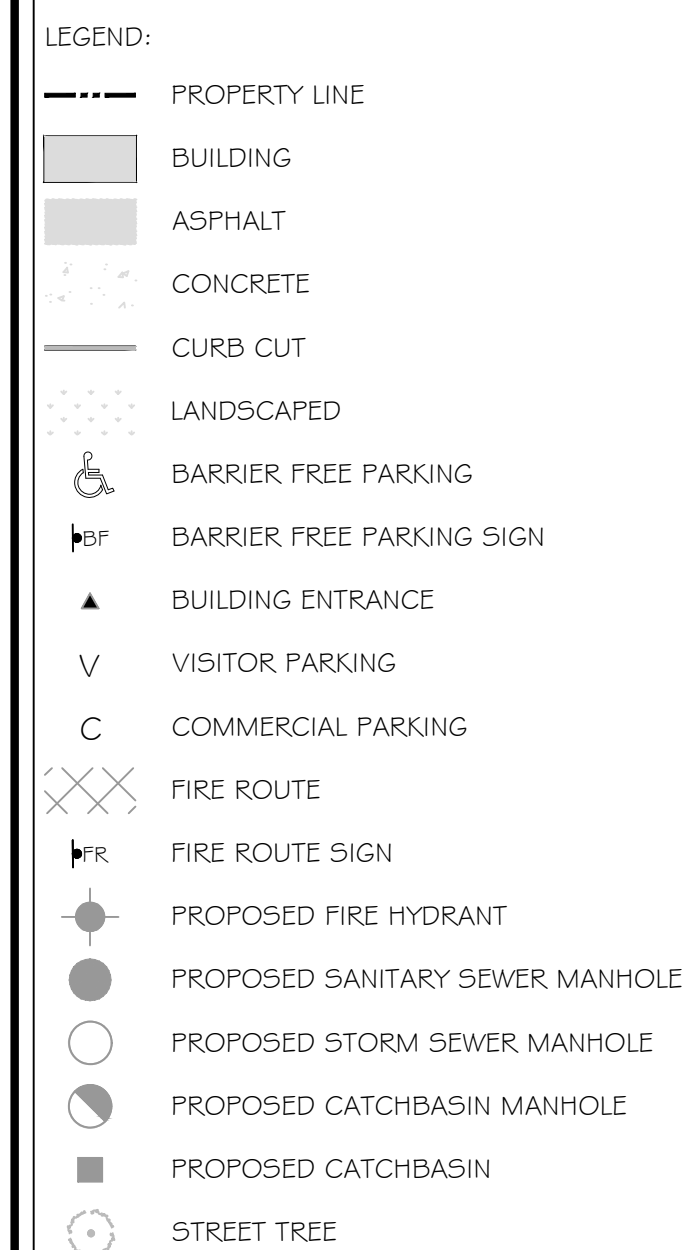




02	REISSUED FOR SPA	2025-12-12
01	ISSUED FOR SPA	2025-11-10
NO.:	REVISION:	DATE:

GENERAL NOTES:
ALL MEASUREMENTS ARE IN METRIC UNLESS SPECIFIED OTHERWISE. DO NOT SCALE THE
DRAWING(S).

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IT IS THE RESPONSIBILITY OF THE OWNER TO:

- VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE;
- REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONTRACT ADMINISTRATOR;
- COMPLY WITH ALL PERTINENT CODES, BY-LAWS AND LAWS;
- VERIFY LOCATION OF ALL UNDERGROUND SERVICES AND UTILITIES WITH RESPECTIVE

PROJECT TEAM:

LANDSCAPE ARCHITECTURE URBANTYPOLOGY UNIT 10 • 163 SPERLING ROAD TORONTO, ON M6R 2B2 UNIT 101 • 45 SPENCER STREET OTTAWA, ON K1V 2T5	PLANNING FOTENN 420 OGDONKRE STREET OTTAWA, ON K2P 1W4	ARCHITECTURE BIM STUDIO 636 KING STREET WEST, 3RD FLOOR TORONTO, ON M5V 1M7 KOHN 116 SPADINA AVENUE, SUITE 501
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PROJECT INFORMATION:

PROJECT INFORMATION:

NORTHWOODS PHASE 6
1020-1070 MARCH ROAD
PIN 04527-1016
Block 188 Plan 4M-1767

TITLE: **SITE PLAN**

FILE NO.: 25.08

DATE: 2025-11-05	SHEET NO.:
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DRAWN: VG
CHECKED: JH

SCALE: 1:250

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XXX-XX-XX-XXXX

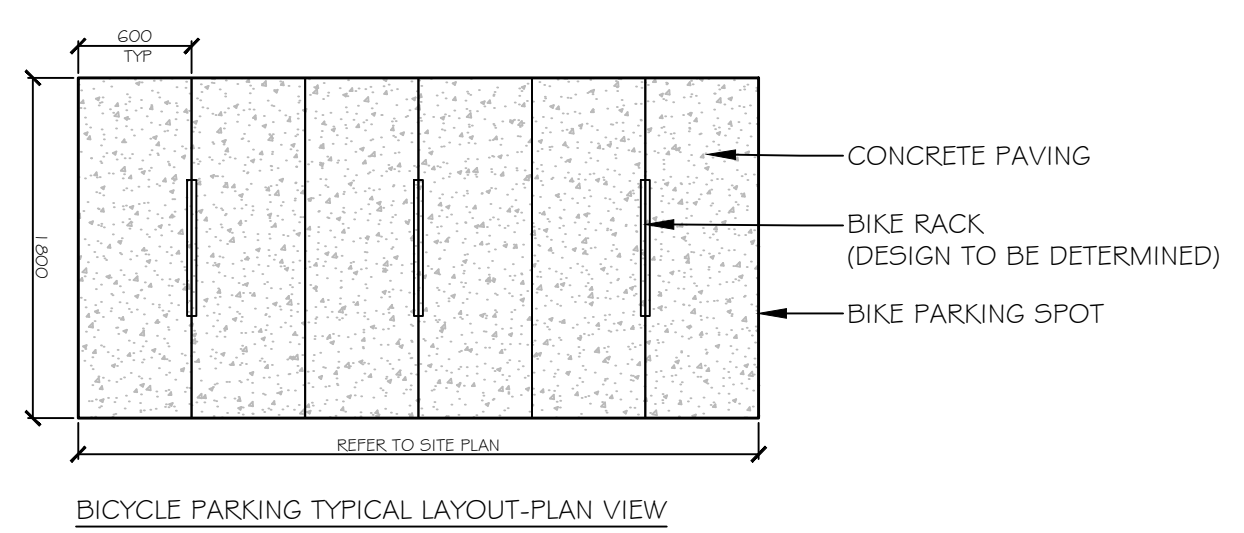
Block 454 Site Plan Details:

- Building A:** STACKED BACK-TO-BACK TOWNHOUSE, 12 UNITS, 1393m² GFA. Dimensions: 20.77m x 27.28m.
- Building B:** STACKED BACK-TO-BACK TOWNHOUSE, 18 UNITS, 2065m² GFA. Dimensions: 40.69m x 20.77m.
- Building C:** COMM. 704.68 sqm, RES. 24 units, 1959.4m² GFA. Dimensions: 42.43m x 19.93m.
- Building D:** STACKED BACK-TO-BACK TOWNHOUSE, 18 UNITS, 2065m² GFA. Dimensions: 20.77m x 40.69m.
- Amenity Area:** 482m².
- Parking:** Includes bicycle parking (6, 5, 10, 12 spaces) and asphalt driveways.
- Surrounding Roads:** GRAVEL DRIVE N 47°27'50" E, LINSEED ROAD 24.0m ROW, ASPHALT ROAD.
- Other Features:** SHED, 2.0m WOOD PRIVACY FENCE, IN GROUND WASTE COLLECTION BIN, RETAINING WALL, LANDSCAPED BUFFER, SNOW STORAGE.

Site Area	10,891m ²
Paved Area	3,516m ²
Landscaped Area	4,025m ²
Building Coverage	2,665m ²
Gross Floor Area	7,482m ²
Commercial Gross Floor Area	705m ²
Total Units	72 Units
	48 Townhouse
	24 Apartment
Density	44UPH

GM15[2031] Zone	Required	Proposed	Conforms
Front Yard Setback (min)	3m	6.64m	Y
Corner Side Yard Setback (min)	3m	3.0m	Y
Interior Side Yard Setback (min)	3m	7.25m	Y
Mixed Use	5m	66.04m	Y
Stacked Townhouse	3m	7.25m	Y
Rear Yard Setback (min)	7.5m	7.5m	Y
Lot Coverage Floor Space Index (max)	2	0.69	Y
Building Height (max)	18m	14.6m	Y
Mixed Use	18m	14.6m	Y
Stacked Townhouse	18m	11.4m	Y
Parking Spaces (min)	110 spaces	117 spaces	Y
Commercial (3.4/100m ²)	24 spaces	24 spaces	Y
Residential (1/unit)	72 spaces	79 spaces	Y
Residential Visitor (0.2/unit)	14 spaces	14 spaces	Y
Accessible Spaces	5 spaces	5 spaces	Y
Type A	2 spaces	2 spaces	Y
Type B	3 spaces	3 spaces	Y
Size of Space	2.6 x 5.2m	2.6 x 5.2m	Y
Driveway Width (min)	6m	6.7m	Y
Aisle Width (min)	6.7m	6.7m	Y
Residential Use	6.0m	6.0m	Y
Parking Lot Landscaped Area (min)	15%	26%	Y
Parking Lot Landscaped Buffer (min)			
Abutting a Street	3m	8.65m ²	Y
Not Abutting a Street	3m	3.37m ²	Y
Refuse Collection (min)			
Abutting a Public Street	9m	9m	Y
From any Lot Line	3m	5.28m	Y
Bicycle Parking (min)	39 spaces	39 spaces	Y
Commercial (1/250m ²)	3 spaces	3 spaces	Y
Residential (0.5/unit)	36 spaces	36 spaces	Y
Amenity Space (min) (6m ² /unit)	432m ²	1097m ²	Y
Communal (50% of required)	216m ²	482m ²	Y
Private	N/A	615m ²	Y
Landscaped Area Width (min)			
Abutting a Street	3m	3m	Y
Abutting a Residential Zone	7.5m	7.5m	Y
Cumulative Non-Residential GFA (min)	700m ²	704.66m ²	Y
Private Way Width (min)	6m	6m	Y
Residential Setback to Private Way (min)	1.8m	3.8m	Y
Separation Area Between Buildings (min)	1.2m	5.14m	Y

1. Property information from Plan 4M-1767, dated July 29, 2025, prepared by J.D. Barnes Limited, 62 Steacie Drive, Suite 103 Kanata, ON K2K 2A9
2. Excess snow to be removed from site at owner's expense



BICYCLE PARKING TYPICAL LAYOUT-PLAN VIEW