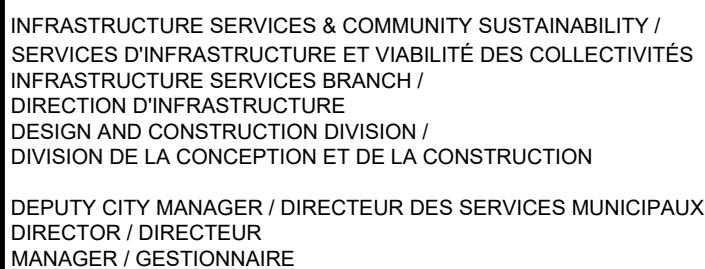


BUILDING AREA - ZONING INFORMATION			
BUILDING FLOOR AREA		NON COMMON AREA	COMMON AREA
EXISTING GROUND FLOOR:	2,578 m sq.	273 m sq.	2,305 m sq.
EXISTING SECOND FLOOR:	561 m sq.	80 m sq.	481 m sq.
ADDITION GROUND FLOOR:	724 m sq.	263 m sq.	461 m sq.
	3,863 m sq.	616 m sq.	3,247 m sq.

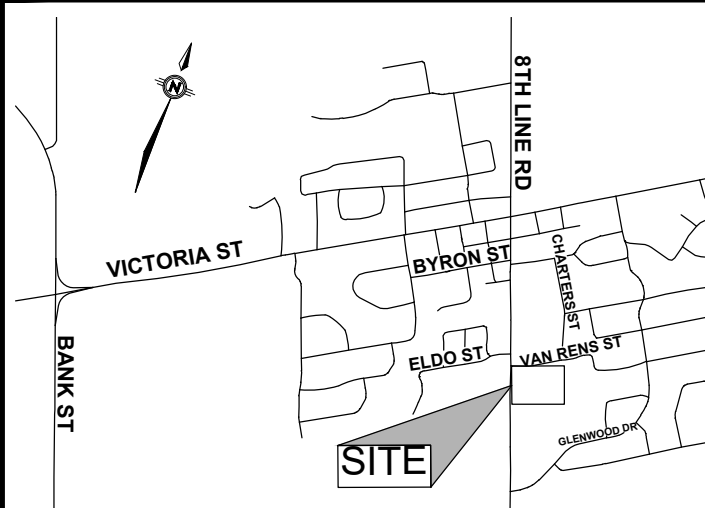
ZONING INFORMATION		
NOTE: ALL ZONING DEFINITIONS AND REQUIREMENTS AS PER CITY OF OTTAWA ZONING BY-LAW 2006-250		
ZONING MECHANISM	REQUIRED	PROVIDED
DEFINITION	RI - RURAL INSTITUTIONAL ZONE (SECTIONS 223-224) R14 SUBZONE COMMUNITY CENTRE, SPORTS ARENA, RECREATIONAL/ATHLETIC FACILITY	
MIN. LOT WIDTH	75m	90.6 m
MIN. LOT AREA	1.0 ha	2.15 ha
MIN. FRONT YARD SETBACK	9 m	21.3m (new addition)
MIN. REAR YARD SETBACK	10 m	41.0 m (new addition)
MIN. INTERIOR SIDE YARD SETBACK	9 m	6.7m (existing building @ south property line)
MIN. CORNER SIDE YARD SETBACK	9m	39.9 m (new addition)
MIN. BUILDING HEIGHT	12 m	8.5 m (existing building)
MAX. LOT COVERAGE (%)	30%	15.2 %
MIN. LANDSCAPED AREA	20%	53.8%
PARKING LANDSCAPE BUFFER	FOR A PARKING LOT CONTAINING 100 or MORE SPACES: ABUTTING A STREET = 3 m NOT ABUTTING A STREET = 3 m	ABUTTING A STREET: 1.45 m (EXISTING CONDITION ALONG NORTH PROPERTY LINE FACING WARREN ST.)
STANDARD PARKING SPACE	2.6m WIDTH x 5.2m LENGTH	3.05m WIDTH x 5.2m LENGTH (39 SPACES) 3.05m WIDTH X 5.2m LENGTH (44 SPACES) 3.4m WIDTH X 5.2m LENGTH (41 SPACES)
ACCESSIBLE PARKING SPACE	TYPE 'A' - 3.4m WIDE x 5.2m LONG TYPE 'B' - 2.4m WIDE x 5.2m LONG	3.4m WIDE x 5.2m LONG +/- .3m WIDE x 5.5m LONG (existing south side)
PARKING REQUIREMENTS	4 PER 100 m sq. OFF GROSS FLOOR AREA. (155 REQUIRED)	87 PARKING SPACES (north side) 20 PARKING SPACES (south side) 107 PARKING SPACES PROVIDED
HANDICAP ACCESSIBLE PARKING STALLS PER CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS	CAPACITY OF PUBLIC PARKING AREA: 101 TO 133 SPACES = 5 ACCESSIBLE PARKING STALLS (2 TYPE 'A's + 3 TYPE 'B's)	5 HANDICAP ACCESSIBLE PARKING STALLS (2 TYPE 'A's + 3 TYPE 'B's)
LOADING SPACES	2,000m ² to 4,999m ² G.F.A. = 1 SPACE	2 SPACE
BICYCLE PARKING RATE	1 per 1500 m ² of G.F.A. 2,954m ² / 1500 m ² = 1.97 SPACES	4 BICYCLE SPACES (min.)
GROSS FLOOR AREA City of Ottawa Definition		3,247m ² (existing 2786m ² + new addition 461m ²)



INFRASTRUCTURE SERVICES & COMMUNITY SUSTAINABILITY
INFRASTRUCTURE SERVICES
DESIGN & CONSTRUCTION - BUILDINGS

N45 ARCHITECTURE INC.

71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5N2
tel. 613.224.0095 fax 613.224.9811



KEY PLAN			

	RE-ISSUED FOR SITE PLAN APPROVAL	2026-01-23	
	ISSUED FOR SITE PLAN APPROVAL	2025-11-06	

NUMBER/ NUMERO	MILESTONE / FAIT SAILLANT	DATE: (Y/M/D) (A/M/J)	INITIALS INITIALES
DESIGNED BY / CONCU PAR		CHECKED BY / VERIFIE PAR	

DRAWN BY / DESSINE PAR	SCALE 1:200
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		1:500	
			

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ARCHITECT / ARCHITECTE	CONSULTANT / EXPERT-CONSEIL
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CONSULTANT / EXPERT-CONSEIL	CONSULTANT / EXPERT-CONSEIL

[illegible]

LARRY ROBINSON ARENA
NEW ADDITION

2785 8th LINE ROAD
OTTAWA, ONTARIO

DRAWING / DESSIN

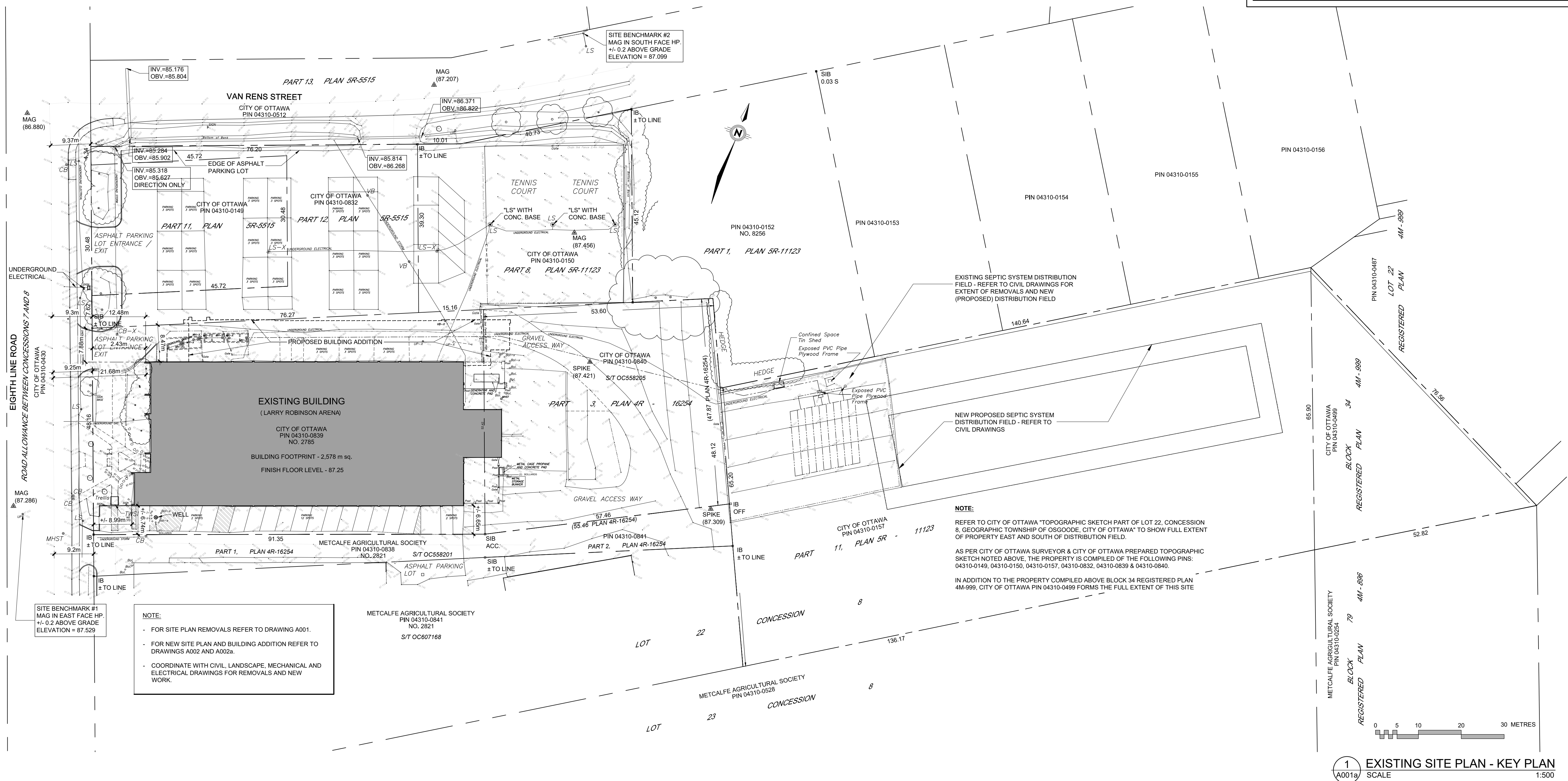
OVERALL EXISTING SITE PLAN

BUSINESS ENTITY / NUMÉRO DE L'ENTITÉ	SHEET NO. / FEUILLE No.
BUILDING NUMBER / NUMÉRO DU BÂTIMENT	

1. *Journal of the American Medical Association*, 2000; 284: 2689-2694.

PROJECT NO. / NÚMERO DE PROJETO

A001a



File no.	D07-12-25-0154	Plan no.	19399
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