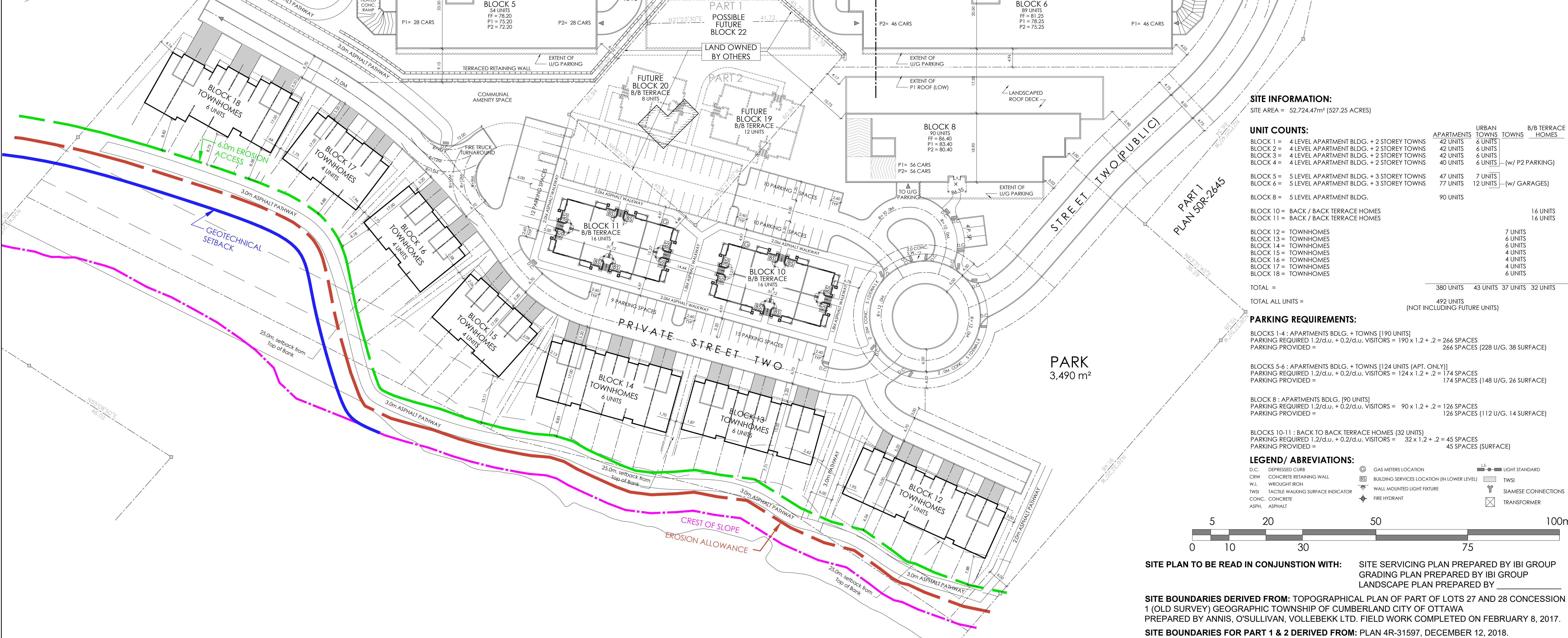
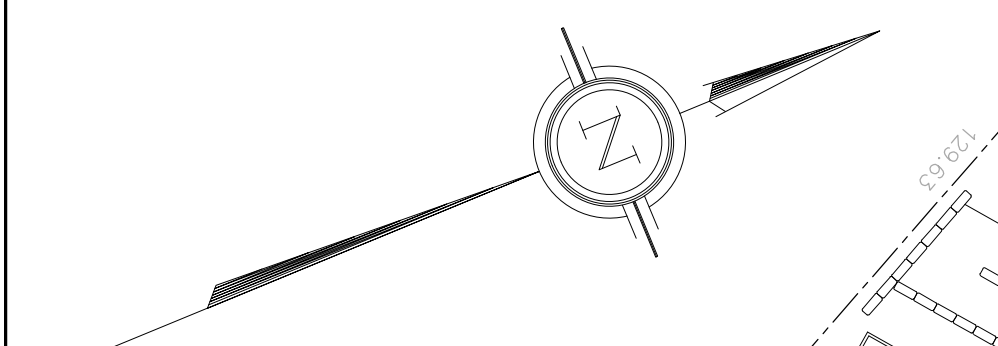


2 KEY PLAN  
SP1 n.f.s.



**SITE INFORMATION:**  
SITE AREA = 52,724.47m<sup>2</sup> (527.25 ACRES)

**UNIT COUNTS:**

Block	Apartment Units	Town Units	Townhomes	B/B Terrace Homes
BLOCK 1 = 4 LEVEL APARTMENT BLDG. + 2 STOREY TOWNS	42 UNITS	6 UNITS	6 UNITS	
BLOCK 2 = 4 LEVEL APARTMENT BLDG. + 2 STOREY TOWNS	42 UNITS	6 UNITS	6 UNITS	
BLOCK 3 = 4 LEVEL APARTMENT BLDG. + 2 STOREY TOWNS	42 UNITS	6 UNITS	6 UNITS	
BLOCK 4 = 4 LEVEL APARTMENT BLDG. + 2 STOREY TOWNS	40 UNITS	6 UNITS	6 UNITS	(w/ P2 PARKING)
BLOCK 5 = 5 LEVEL APARTMENT BLDG. + 3 STOREY TOWNS	47 UNITS	7 UNITS	7 UNITS	(w/ GARAGES)
BLOCK 6 = 5 LEVEL APARTMENT BLDG. + 3 STOREY TOWNS	77 UNITS	12 UNITS	12 UNITS	
BLOCK 8 = 5 LEVEL APARTMENT BLDG.	90 UNITS			
BLOCK 10 = BACK / BACK TERRACE HOMES				16 UNITS
BLOCK 11 = BACK / BACK TERRACE HOMES				16 UNITS
BLOCK 12 = TOWNHOMES				7 UNITS
BLOCK 13 = TOWNHOMES				6 UNITS
BLOCK 14 = TOWNHOMES				6 UNITS
BLOCK 15 = TOWNHOMES				4 UNITS
BLOCK 16 = TOWNHOMES				4 UNITS
BLOCK 17 = TOWNHOMES				4 UNITS
BLOCK 18 = TOWNHOMES				6 UNITS
<b>TOTAL =</b>	<b>380 UNITS</b>	<b>43 UNITS</b>	<b>37 UNITS</b>	<b>32 UNITS</b>
<b>TOTAL ALL UNITS =</b>	<b>492 UNITS (NOT INCLUDING FUTURE UNITS)</b>			

**PARKING REQUIREMENTS:**

BLOCKS 1-4 : APARTMENTS BLDG. + TOWNS [190 UNITS]  
PARKING REQUIRED 1.2/d.u. + 0.2/d.u. VISITORS = 190 x 1.2 + .2 = 266 SPACES (228 U/G, 38 SURFACE)  
PARKING PROVIDED =

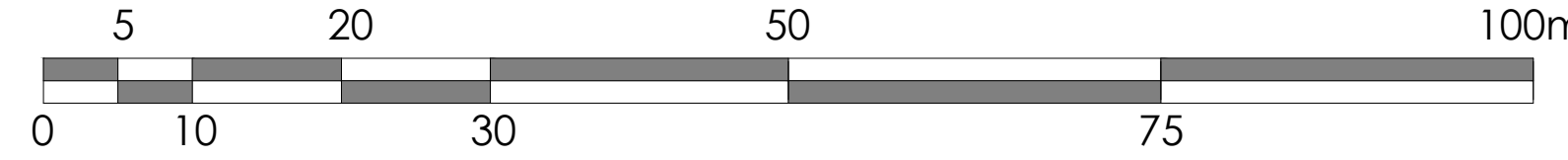
BLOCKS 5-6 : APARTMENTS BLDG. + TOWNS [124 UNITS (APT. ONLY)]  
PARKING REQUIRED 1.2/d.u. + 0.2/d.u. VISITORS = 124 x 1.2 + .2 = 174 SPACES (148 U/G, 26 SURFACE)  
PARKING PROVIDED =

BLOCK 8 : APARTMENTS BLDG. [90 UNITS]  
PARKING REQUIRED 1.2/d.u. + 0.2/d.u. VISITORS = 90 x 1.2 + .2 = 126 SPACES (112 U/G, 14 SURFACE)  
PARKING PROVIDED =

BLOCKS 10-11 : BACK TO BACK TERRACE HOMES [32 UNITS]  
PARKING REQUIRED 1.2/d.u. + 0.2/d.u. VISITORS = 32 x 1.2 + .2 = 45 SPACES (SURFACE)  
PARKING PROVIDED =

**LEGEND/ ABBREVIATIONS:**

D.C.	DEPRESSED CURB	LS	LIGHT STANDARD
CRW	CONCRETE RETAINING WALL	W	WALL MOUNTED LIGHT FIXTURE
W.I.	WROUGHT IRON	TWSI	TACTILE WALKING SURFACE INDICATOR
TWSI	TACTILE WALKING SURFACE INDICATOR	SC	SIAMENSE CONNECTIONS
CONC.	CONCRETE	TR	TRANSFORMER
ASPH.	ASPHALT		



**SITE PLAN TO BE READ IN CONJUNCTION WITH:** SITE SERVICING PLAN PREPARED BY IBI GROUP  
GRADING PLAN PREPARED BY IBI GROUP  
LANDSCAPE PLAN PREPARED BY

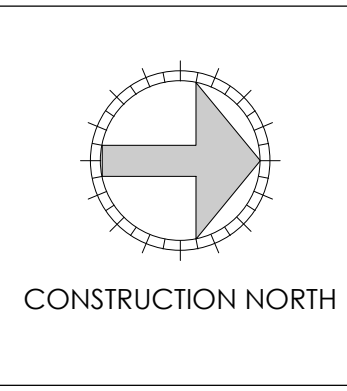
**SITE BOUNDARIES DERIVED FROM:** TOPOGRAPHICAL PLAN OF PART OF LOTS 27 AND 28 CONCESSION 1 (OLD SURVEY) GEOGRAPHIC TOWNSHIP OF CUMBERLAND CITY OF OTTAWA  
PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. FIELD WORK COMPLETED ON FEBRUARY 8, 2017.  
**SITE BOUNDARIES FOR PART 1 & 2 DERIVED FROM:** PLAN 4R-31597, DECEMBER 12, 2018.

**M. David Blakely**  
Architect Inc.  
2200 Prince of Wales Dr., Suite 101 Ottawa, Ontario  
Phone (613) 226-8811 Fax (613) 226-7942 K2E 6Z9

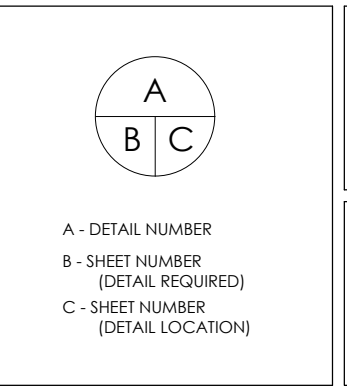
**GENERAL NOTES:**

- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
- ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, & BY-LAWS.
- ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANINGS AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS.
- THIS DRAWING SHALL NOT BE USED OR COPIED WITHOUT THE AUTHORIZATION OF THE ARCHITECT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.

No.	DATE	REVISIONS	INT.
12.	11/09/19	REVISED MODEL TYPES / LAYOUT	SM
11.	28/01/19	REVISED MODEL TYPES / LAYOUT	SM
10.	08/01/19	CONTOUR LINES ADDED	SM
9.	13/06/18	REVISED BLOCKS 1-4	SM
8.	05/04/18	ADDED SCALE TO SECTION	SM
7.	04/01/18	REVISED BLOCK LOCATIONS	SM
6.	28/09/17	REVISED SITE BOUNDARIES	SM
5.	20/09/17	REVISED SITE LAYOUT	SM
4.	05/07/17	REVISED UNIT TYPES	SM
3.	13/04/17	REVISED SITE LAYOUT	SM
2.	21/11/16	REVISED 34 UNIT BLOCK LAYOUT	SM
1.	30/11/16	FOR REVIEW	SM



No.	DATE	REVISIONS	INT.
24.			
23.			
22.			
21.			
20.			
19.			
18.	10/02/21	SIDEWALK @ PVT. STREET 2 DELETED	MB
17.	05/02/21	OLD, MTL, RD. GEOMETRY UPDATED	MB
16.	29/01/21	BOUNDARIES UPDATED/ PARTS 1&2	MB
15.	03/11/20	GEOTECHNICAL ADDED	MB
14.	11/07/20	B.L.S. 5,6,8 & 8 REVISY/ GRADES REVISY	MB
13.	04/12/19	REVISED BLDG. FOOTPRINTS / LAYOUT	MB
12.			
11.			
10.			
9.			
8.			
7.			
6.			
5.			
4.			
3.			
2.			
1.			



PROJECT: PROPOSED SUBDIVISION OLD MONTREAL ROAD OTTAWA, ONTARIO.

CLIENT: PHOENIX HOMES  
18A Bentley Ave Ottawa, ON K2E 6T8

DRAWING TITLE: SITE PLAN

DATE: NOV., 2016

SCALE: 1:500

SHEET NO. REV. NO.: SP-1

DRAWN BY: SBM

CHECKED: MDB