

**KEY PLAN**  
n.f.s.

2  
SP1

EXISTING 1-STORY HOUSE [1138 OLD MONTREAL RD]  
EXISTING ABOVE GROUND POOL & DECK  
EXISTING 1-STORY GARAGE

BUNGALOW TOWN  
BLOCK 18 TOWNHOMES 5 UNITS  
6.0m EROSION ACCESS  
3.0m ASPHALT PATHWAY  
GEOTECHNICAL SETBACK

25.0m setback from Top of Bank

3.0m ASPHALT PATHWAY

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3.0m ASPHALT PATHWAY

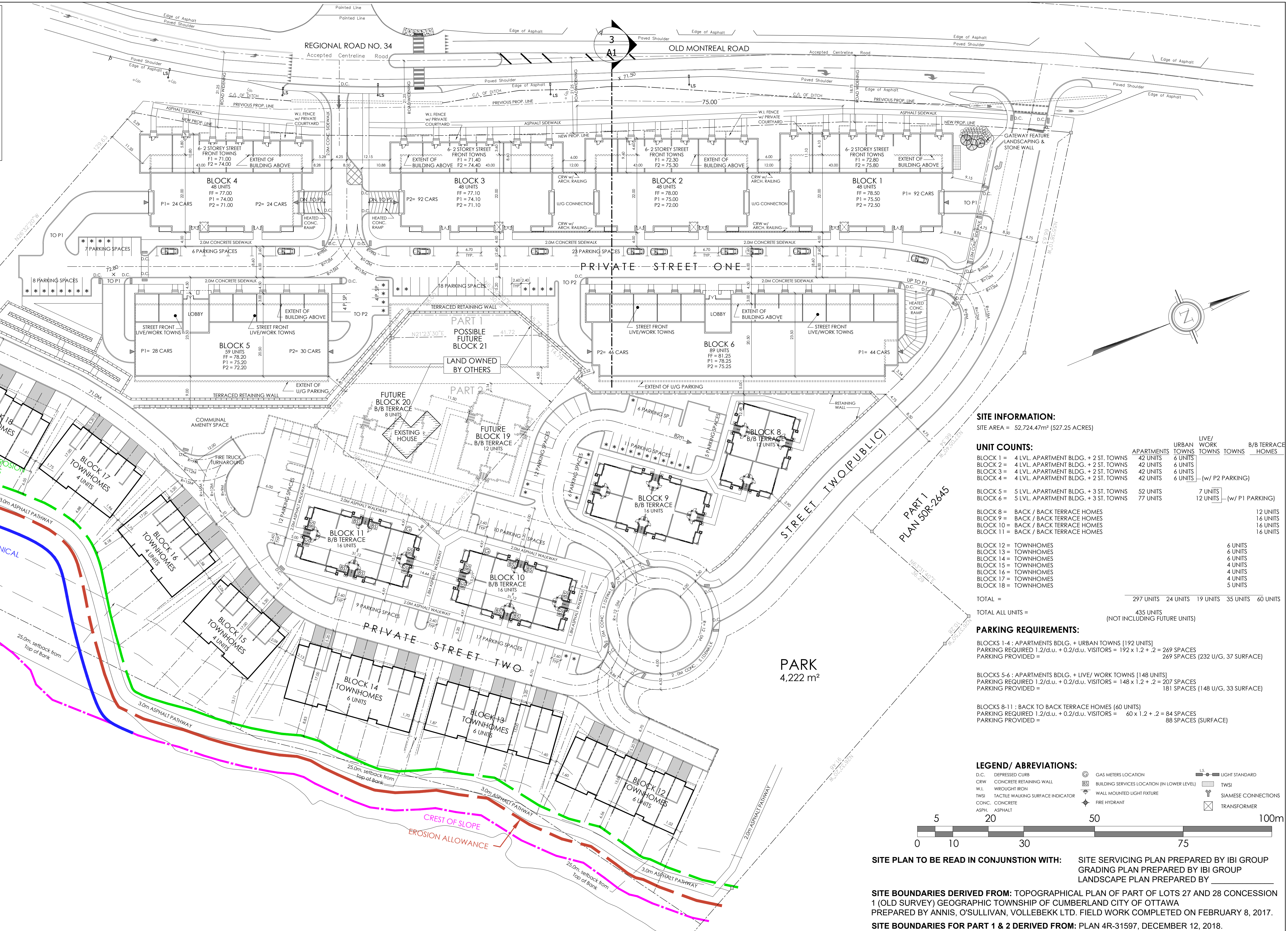
25.0m setback from Top of Bank

3.0m ASPHALT PATHWAY

25.0m setback from Top of Bank

3.0m ASPHALT PATHWAY

25.0m setback from Top of Bank



**SITE INFORMATION:**  
SITE AREA = 52,724.47m<sup>2</sup> (527.25 ACRES)

**UNIT COUNTS:**

BLOCK	APARTMENTS	URBAN TOWNS	LIVE/WORK TOWNS	B/B TERRACE HOMES
BLOCK 1 = 4 LVL. APARTMENT BLDG. + 2 ST. TOWNS	42 UNITS	6 UNITS		
BLOCK 2 = 4 LVL. APARTMENT BLDG. + 2 ST. TOWNS	42 UNITS	6 UNITS		
BLOCK 3 = 4 LVL. APARTMENT BLDG. + 2 ST. TOWNS	42 UNITS	6 UNITS		
BLOCK 4 = 4 LVL. APARTMENT BLDG. + 2 ST. TOWNS	42 UNITS	6 UNITS		(w/ P2 PARKING)
BLOCK 5 = 5 LVL. APARTMENT BLDG. + 3 ST. TOWNS	52 UNITS	7 UNITS		
BLOCK 6 = 5 LVL. APARTMENT BLDG. + 3 ST. TOWNS	77 UNITS	12 UNITS		(w/ P1 PARKING)
BLOCK 8 = BACK / BACK TERRACE HOMES				12 UNITS
BLOCK 9 = BACK / BACK TERRACE HOMES				16 UNITS
BLOCK 10 = BACK / BACK TERRACE HOMES				16 UNITS
BLOCK 11 = BACK / BACK TERRACE HOMES				16 UNITS
BLOCK 12 = TOWNHOMES				6 UNITS
BLOCK 13 = TOWNHOMES				6 UNITS
BLOCK 14 = TOWNHOMES				4 UNITS
BLOCK 15 = TOWNHOMES				4 UNITS
BLOCK 16 = TOWNHOMES				4 UNITS
BLOCK 17 = TOWNHOMES				4 UNITS
BLOCK 18 = TOWNHOMES				5 UNITS
<b>TOTAL =</b>	<b>297 UNITS</b>	<b>24 UNITS</b>	<b>19 UNITS</b>	<b>35 UNITS</b>
<b>TOTAL ALL UNITS =</b>	<b>435 UNITS</b> (NOT INCLUDING FUTURE UNITS)			

**PARKING REQUIREMENTS:**

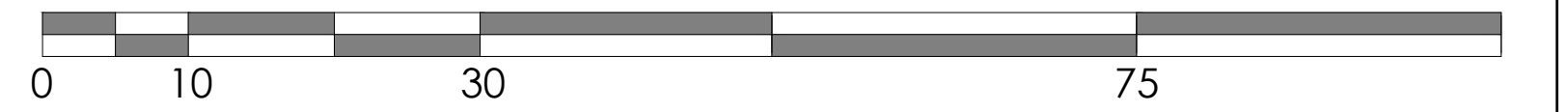
BLOCKS 1-4 : APARTMENTS BLDG. + URBAN TOWNS [192 UNITS]  
PARKING REQUIRED 1.2/d.u. + 0.2/d.u. VISITORS = 192 x 1.2 + .2 = 269 SPACES  
PARKING PROVIDED = 269 SPACES (232 U/G, 37 SURFACE)

BLOCKS 5-6 : APARTMENTS BLDG. + LIVE/WORK TOWNS [148 UNITS]  
PARKING REQUIRED 1.2/d.u. + 0.2/d.u. VISITORS = 148 x 1.2 + .2 = 207 SPACES  
PARKING PROVIDED = 181 SPACES (148 U/G, 33 SURFACE)

BLOCKS 8-11 : BACK TO BACK TERRACE HOMES [60 UNITS]  
PARKING REQUIRED 1.2/d.u. + 0.2/d.u. VISITORS = 60 x 1.2 + .2 = 84 SPACES  
PARKING PROVIDED = 88 SPACES (SURFACE)

**LEGEND/ ABBREVIATIONS:**

D.C.	DEPRESSED CURB	⊙	GAS METERS LOCATION	LS	LIGHT STANDARD
CRW	CONCRETE RETAINING WALL	⊙	BUILDING SERVICES LOCATION (IN LOWER LEVEL)	⊙	TWISI
W.I.	WROUGHT IRON	⊙	WALL MOUNTED LIGHT FIXTURE	⊙	SIAMESE CONNECTIONS
TWISI	TACTILE WALKING SURFACE INDICATOR	⊙	FIRE HYDRANT	⊙	TRANSFORMER
CONC.	CONCRETE				
ASPH.	ASPHALT				



**SITE PLAN TO BE READ IN CONJUNCTION WITH:** SITE SERVICING PLAN PREPARED BY IBI GROUP  
GRADING PLAN PREPARED BY IBI GROUP  
LANDSCAPE PLAN PREPARED BY

**SITE BOUNDARIES DERIVED FROM:** TOPOGRAPHICAL PLAN OF PART OF LOTS 27 AND 28 CONCESSION 1 (OLD SURVEY) GEOGRAPHIC TOWNSHIP OF CUMBERLAND CITY OF OTTAWA  
PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. FIELD WORK COMPLETED ON FEBRUARY 8, 2017.  
**SITE BOUNDARIES FOR PART 1 & 2 DERIVED FROM:** PLAN 4R-31597, DECEMBER 12, 2018.

**M. David Blakely Architect Inc.**  
2200 Prince of Wales Dr. Suite 101 Ottawa, Ontario  
Phone (613) 226-8811 Fax (613) 226-7942 K2E 6Z9

**GENERAL NOTES:**

- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
- ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, & BY-LAWS.
- ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANINGS AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS.
- THIS DRAWING SHALL NOT BE USED OR COPIED WITHOUT THE AUTHORIZATION OF THE ARCHITECT.
- THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.

SEAL

CONSTRUCTION NORTH

No.	DATE	DESCRIPTION	INT.	No.	DATE	DESCRIPTION	INT.
12.	11/09/19	REVISED MODEL TYPES / LAYOUT	SM	24.	13/08/21	1138 OLD MTL. STRUCTURES ADDED	MB
11.	28/07/19	REVISED MODEL TYPES / LAYOUT	SM	23.	14/07/21	GENERAL REV / FOR COORD.	MB
10.	18/07/19	CONTOUR LINES ADDED	SM	22.	12/07/21	ROAD WIDENING REVISION FOR REVIEW	MB
9.	13/06/18	REVISED BLOCKS 1-4	SM	21.	24/06/21	ROAD WIDENING REVISED	MB
8.	05/04/18	ADDED SCALE TO SECTION	SM	20.	18/06/21	ROAD WIDENING OVERLAYED	MB
7.	04/07/18	REVISED BLOCK LOCATIONS	SM	19.	08/06/21	BLK. 8 CONVERTED TO TERR. HOMES MB	
6.	28/09/17	REVISED SITE BOUNDARIES	SM	18.	10/02/21	SIDEWALK & PVT. STREET 2 DELETED MB	
5.	20/09/17	REVISED SITE LAYOUT	SM	17.	05/02/21	OLD. MTL. RD. GEOMETRY UPDATED MB	
4.	05/07/17	REVISED UNIT TYPES	SM	16.	29/01/21	BOUNDARIES UPDATED/ PARTS 1&2 MB	
3.	13/04/17	REVISED SITE LAYOUT	SM	15.	03/11/20	GEO TECHNICAL ADDED	MB
2.	21/12/16	REVISED SK UNIT BLOCK LAYOUT	SM	14.	13/07/20	BLK 5 & 8 REVISED / GARAGES REVISED MB	
1.	30/11/16	FOR REVIEW	SM	13.	04/12/19	REVISED BLOCK FOOTPRINTS / LAYOUT MB	

No.	DATE	DESCRIPTION	INT.	No.	DATE	DESCRIPTION	INT.
26.	09/09/21	F.F. LEVELS REVISED AS PER IBI	MB	25.	30/08/21	ISSUED FOR RE-SUBMISSION	MB

PROJECT: **PROPOSED SUBDIVISION OLD MONTREAL ROAD OTTAWA, ONTARIO.**

CIENT: **PHOENIX HOMES**  
18A Bentley Ave Ottawa, ON K2E 6T8

DRAWING TITLE: **SITE PLAN**

DATE: **NOV., 2016**

SCALE: **1:500**

SHEET NO. REV NO.: **SP-1**

DRAWN BY: **SBM**

CHECKED: **MDB**