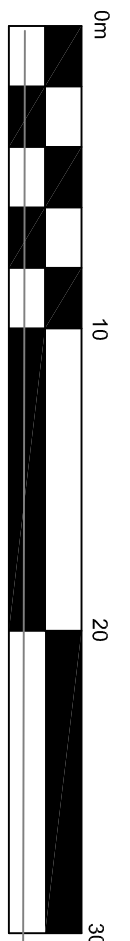


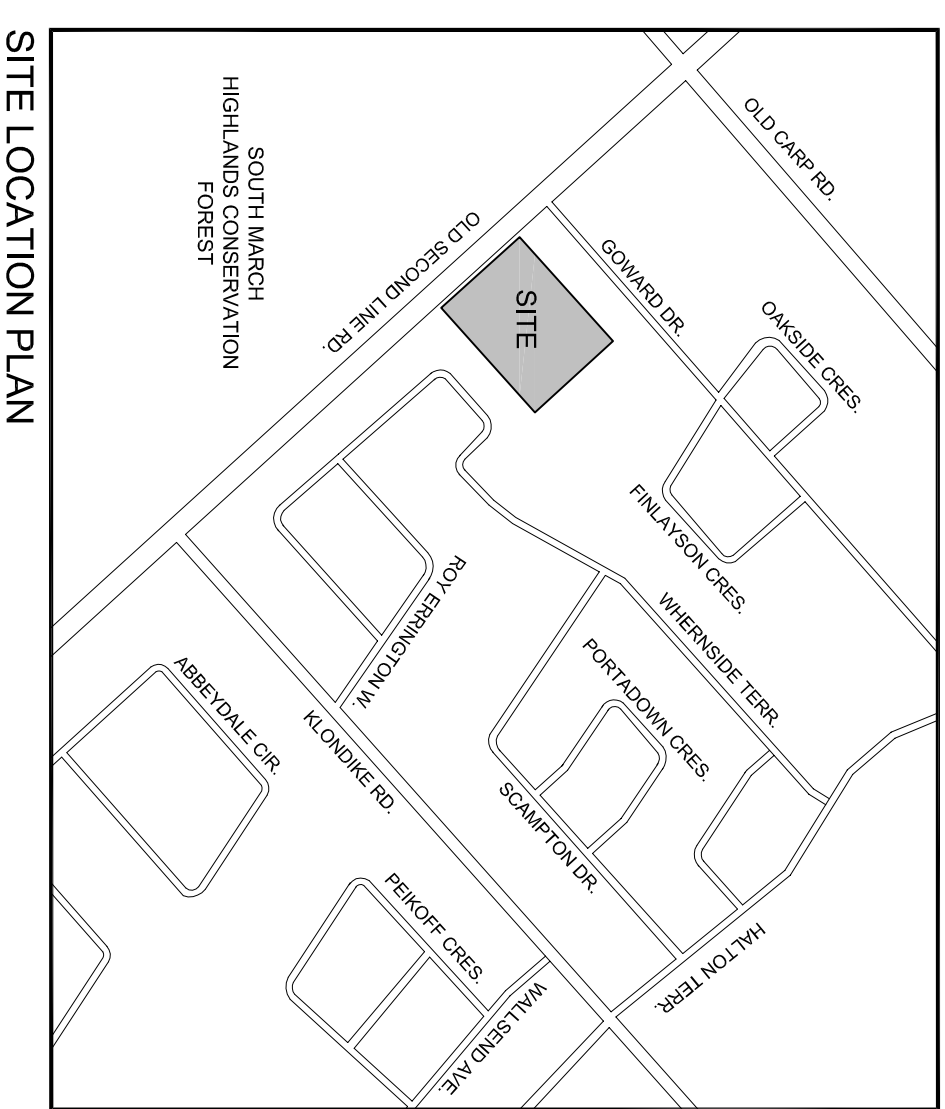
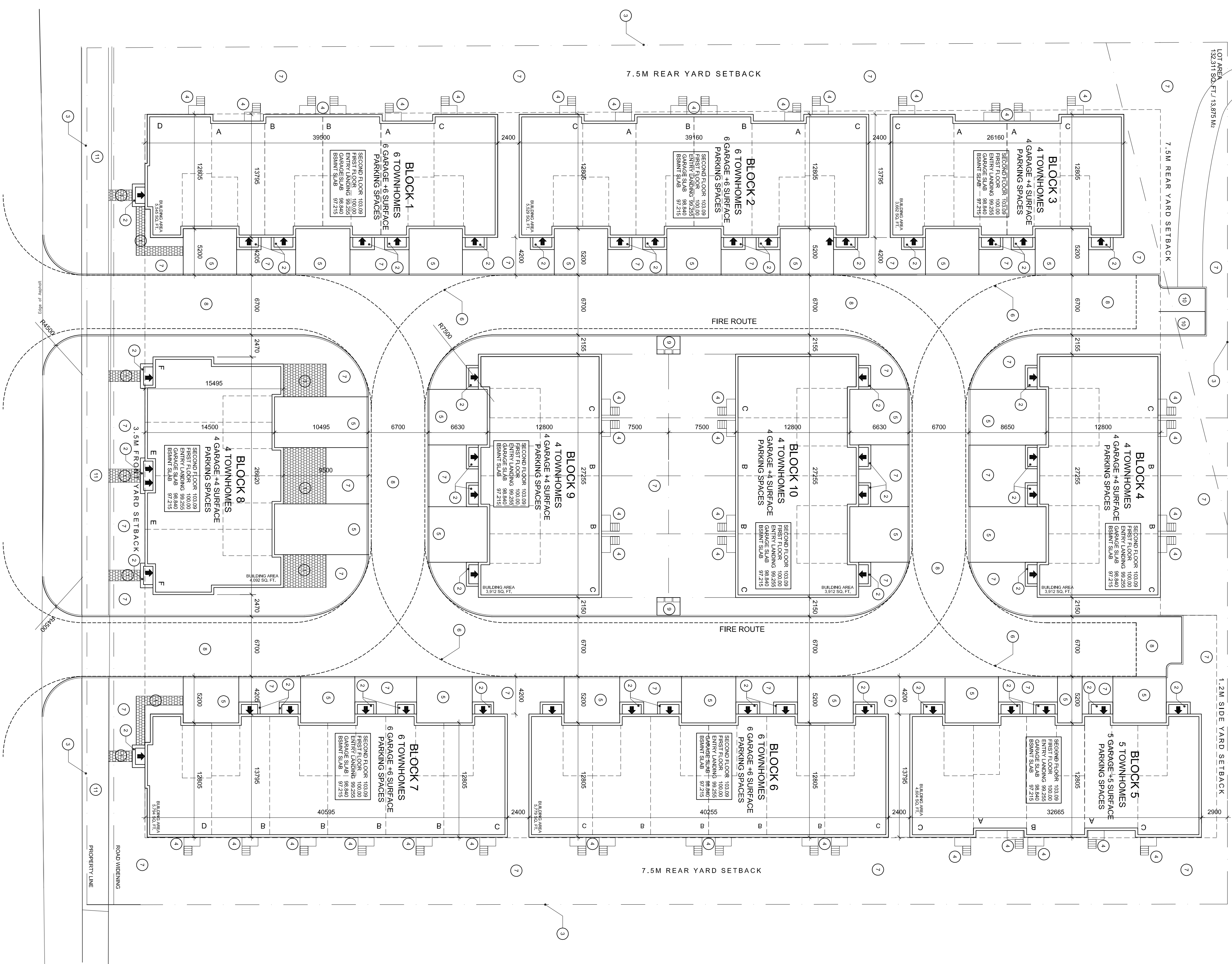
SITE PLAN

SCALE 1:250



PAPER SIZE: ARCH D
PLOT DATE: Friday, April 13, 2018

OLD SECOND LINE ROAD



SITE LOCATION PLAN

PROJECT INFORMATION

ZONING	R3
PROJECT STATISTICS	
BUILDING HEIGHT	10.0 M
MIN. FRONT & CORNER YARD SETBACK	3.5-4.2 M
MIN. INTERIOR YARD SETBACK	1.2 M
MIN. REAR YARD SETBACK	7.5 M
BUILDING STATISTICS	
TOWNHOMES (WITH ATTACHED GARAGE)	49
TOTAL UNITS	49

BUILDING AREAS

BLOCK 1	BUILDING AREA: 5,546 SQ. FT. / 516 SQ.M.
BLOCK 2	BUILDING AREA: 5,539 SQ. FT. / 513.8 SQ.M.
BLOCK 3	BUILDING AREA: 3,483 SQ. FT. / 324.9 SQ.M.
BLOCK 4	BUILDING AREA: 3,918 SQ. FT. / 362.4 SQ.M.
BLOCK 5	BUILDING AREA: 4,694 SQ. FT. / 432.7 SQ.M.
BLOCK 6	BUILDING AREA: 5,779 SQ. FT. / 536.8 SQ.M.
BLOCK 7	BUILDING AREA: 5,796 SQ. FT. / 536.8 SQ.M.
BLOCK 8	BUILDING AREA: 4,082 SQ. FT. / 380.2 SQ.M.
BLOCK 9	BUILDING AREA: 3,975 SQ. FT. / 367.4 SQ.M.
BLOCK 10	BUILDING AREA: 3,975 SQ. FT. / 367.4 SQ.M.
TOTAL AREA	43,418 SQ. M. 467,264.75 SQ. M. (132,311 SQ. M.)

LOT COVERAGE

31.2%

CAR PARKING

REQUIRED	TOWNHOMES/GARAGE - 1.0 PER UNIT (49 UNITS)	49
VISITOR	NOT REQUIRED	0
TOTAL		49
PROVIDED	TOWNHOMES/GARAGE - 1.0 GARAGE + 1.0 DRIVEWAY PER UNIT (49 UNITS)	98
VISITOR	- 2.0 CONVENIENCE SPACES	2
TOTAL		100

DRAWING NOTES:

- 1 PRECAST PAVERS
- 2 PRECAST CONCRETE STAIRS
- 3 PROPERTY LINE
- 4 WOOD STAIRS AND LANDING
- 5 ASPHALT DRIVEWAY
- 6 FIRE ROUTE
- 7 GRASS
- 8 PRIVATE STREET ASPHALT SURFACE
- 9 COMMUNITY MALLOCHES
- 10 VISITOR PARKING
- 11 CONCRETE SIDEWALK

NOTATION SYMBOLS:

- (1) INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- (2) INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
- (3) INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A400 SERIES.
- (4) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A400 SERIES.
- (5) DETAIL NUMBER
- (6) TITLE
- (7) SCALE
- (8) DETAIL REFERENCE PAGE

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION DO NOT SCALE DRAWINGS. COPYRIGHT RESERVED.

LEGAL DESCRIPTION	Topographic Plan of Survey of Part of Lot 11 Concession 3 Geographic Township of March City of Ottawa
SURVEYOR	Farley, Smith & Denis Surveying Ltd 190 Colomende Road Ottawa Ontario K2E7J5 Tel: (613) 727-8226
ARCHITECTURAL DESIGN	URBANDIYA Design Inc. 4880 OPEONGO ROAD, Ottawa Ontario K0M 3M0 Tel: (613) 805-5850
PROJECT DEVELOPER	Theberge Homes 904 Lady Ellen Place Ottawa Ontario K1Z 5L5 Tel: (613) 421-1515 Fax: (613) 695-1944
CIVIL ENGINEER	exp Services Inc. 100-2650 Queensview Drive Ottawa, ON K2B 8H6 Tel: (613) 688-1899 Fax: (613) 852-8753 bruce.thomson@exp.com
LANDSCAPE ARCHITECT	Gino Aiello 50 Campbell Drive Nepean, ON K2G5X8 Tel: (613) 852-1343 gino@gidia.com

CLIENT	THE BERGE HOMES
PROJECT TITLE	1158 OLD SECOND LINE
SHEET TITLE	SITE PLAN
DATE	APR 13 2018
NO. DESCRIPTION	
REVISIONS:	

THE BERGE
HOMES

URBANDIYA
Design Inc.

NORTH ARROW

CLIENT

THE BERGE
HOMES

PROJECT TITLE

1158 OLD SECOND LINE

SHEET TITLE

SITE PLAN

SCALE

1:250

SHEET NO.

SP-1

DATE

APR 13 2018

PROJECT NO.

1802