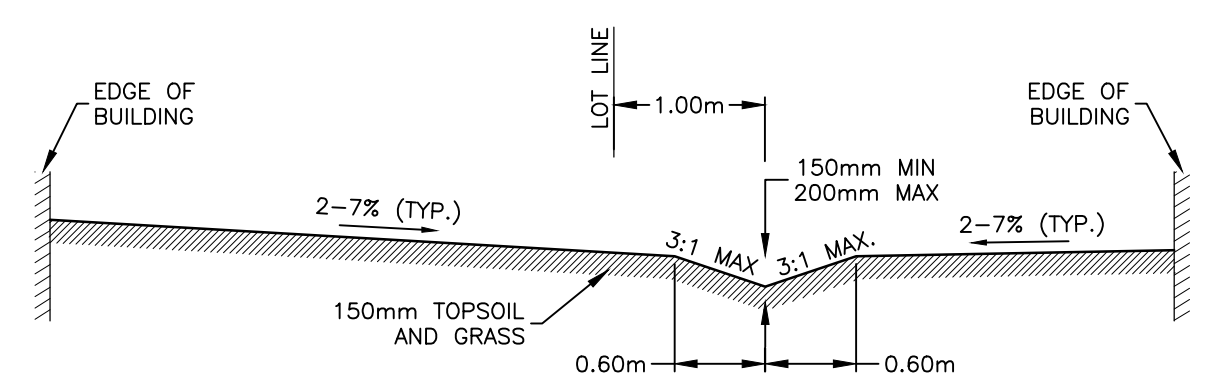
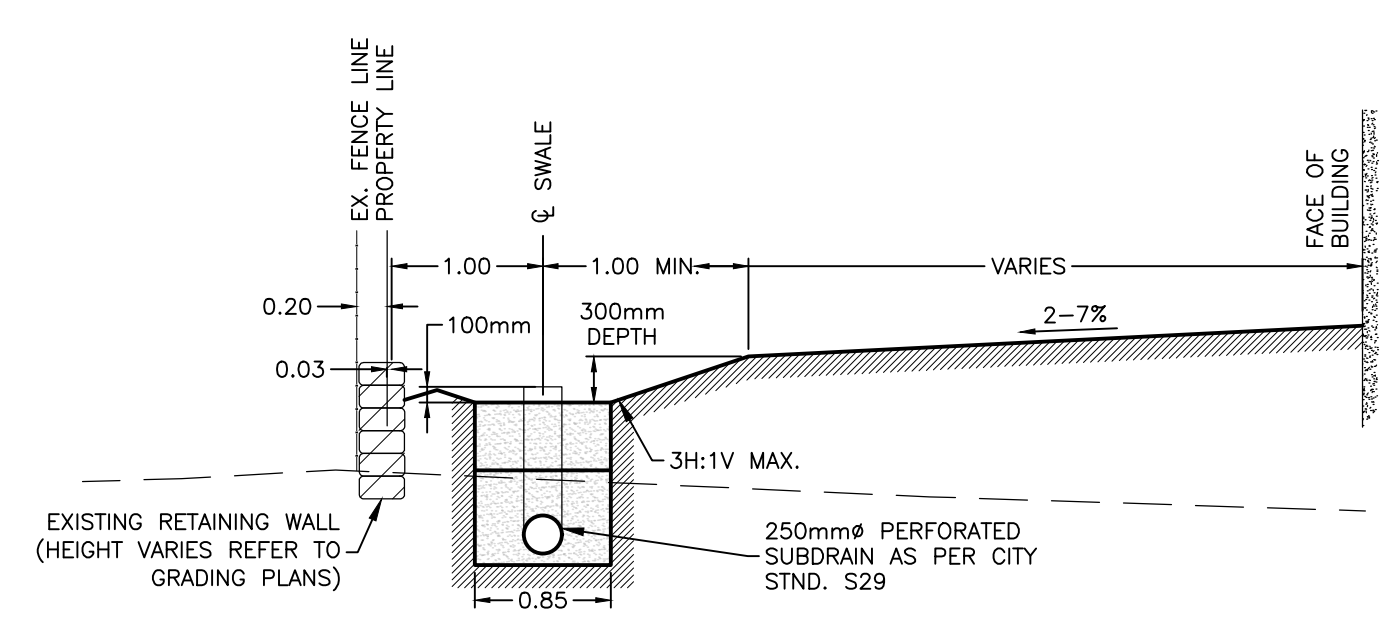


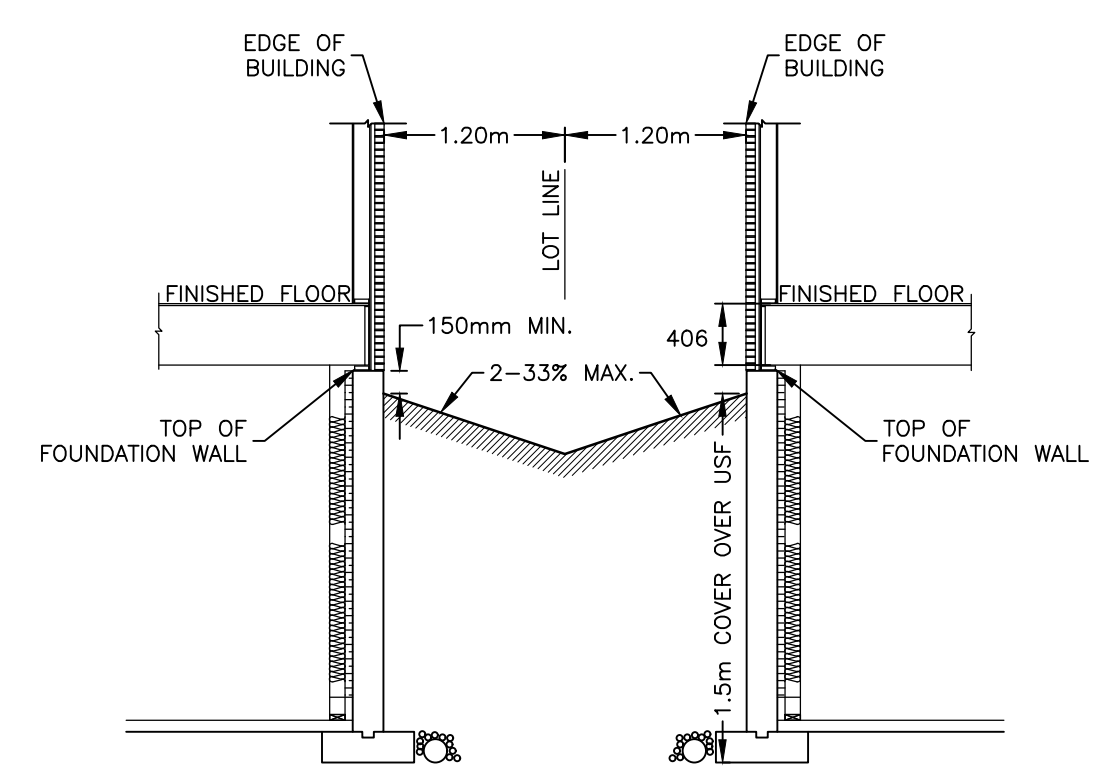
**1** TYPICAL PATHWAY BLOCK  
 SCALE: 1:50  
 HORIZONTAL 1:50



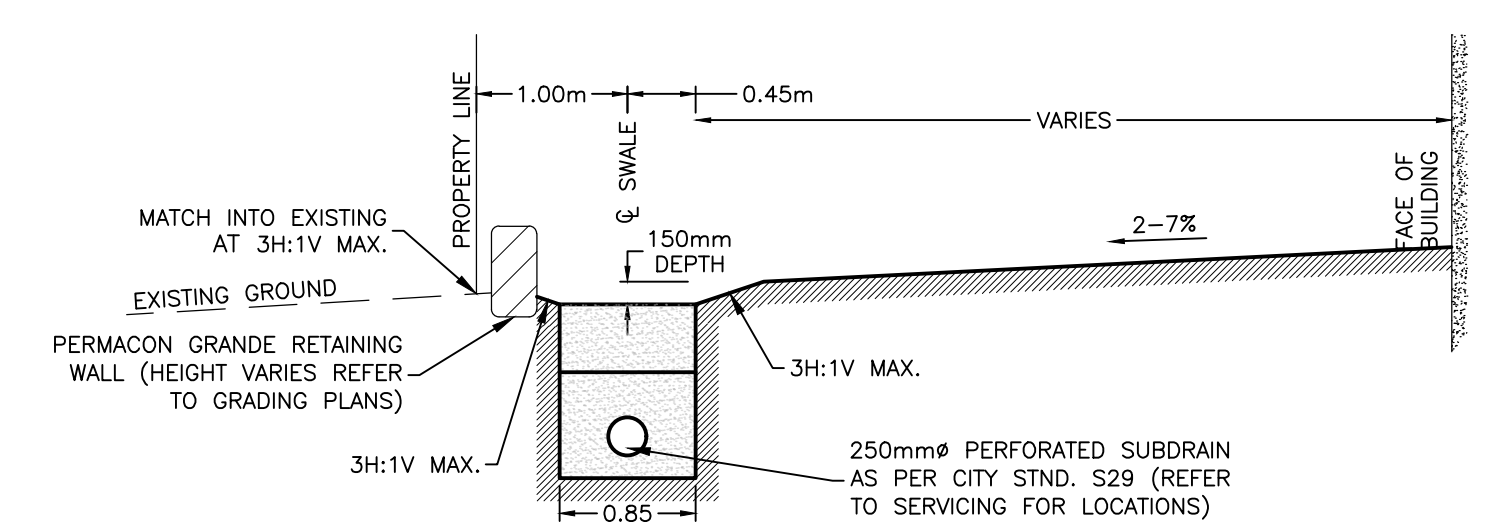
**4** TYPICAL REAR YARD SECTION  
 SCALE: 1:50  
 HORIZONTAL 1:50



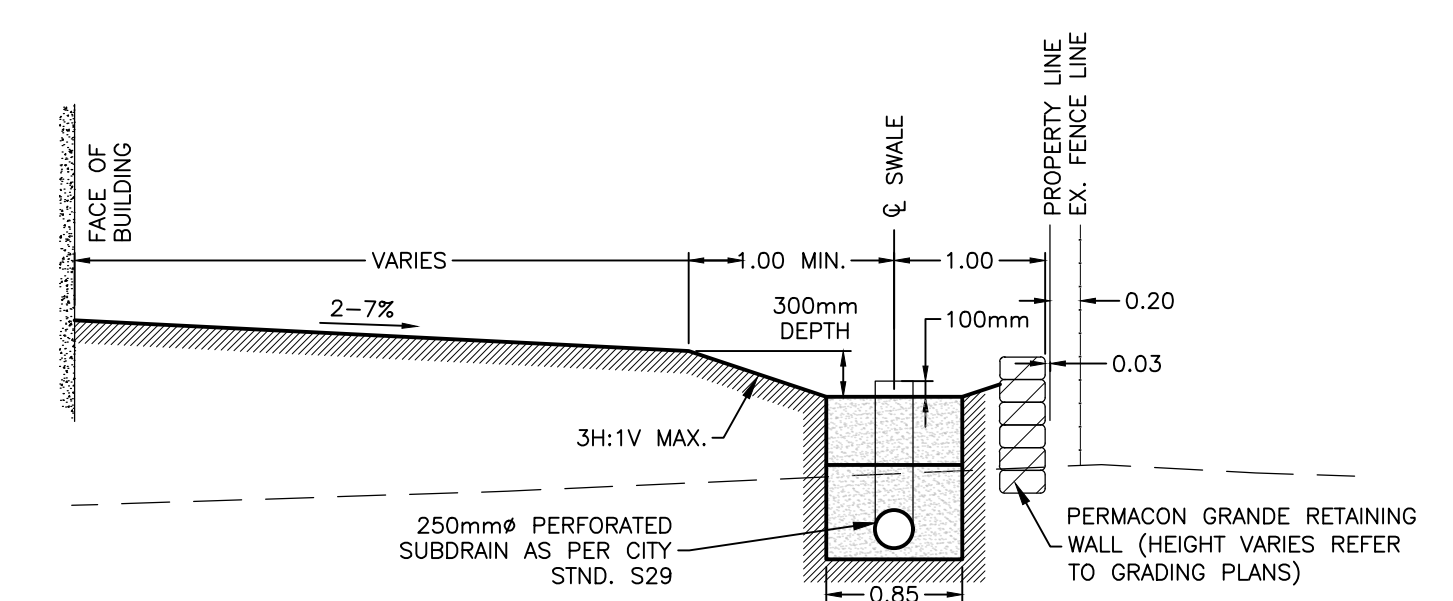
**7** TYPICAL REAR YARD SECTION  
 NORTH PROPERTY LINE c/w RETAINING WALL  
 SCALE: 1:50  
 HORIZONTAL 1:50



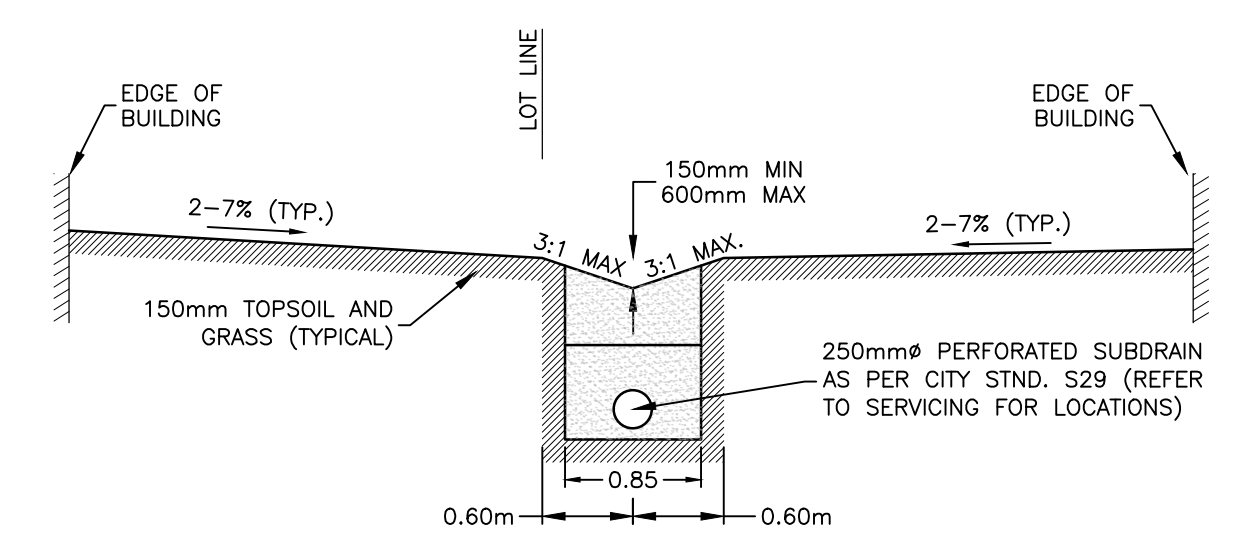
**2** TYPICAL SIDE YARD SECTION  
 SCALE: 1:50  
 HORIZONTAL 1:50



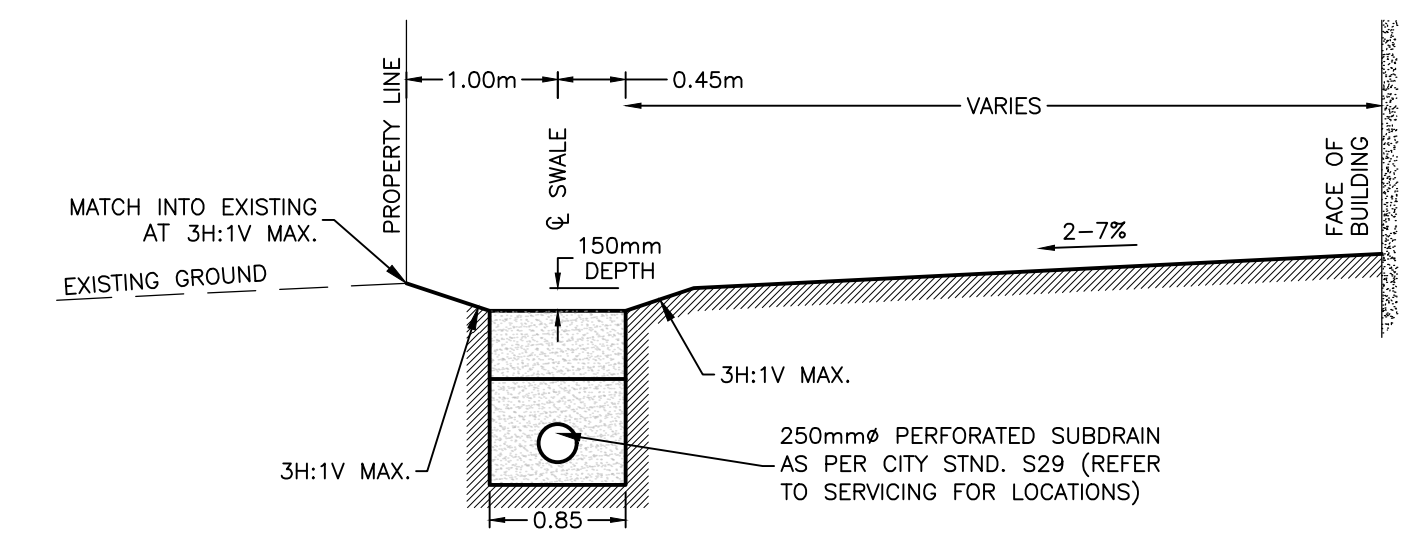
**5** TYPICAL REAR YARD SECTION  
 WEST PROPERTY LINE c/w RETAINING WALL  
 SCALE: 1:50  
 HORIZONTAL 1:50



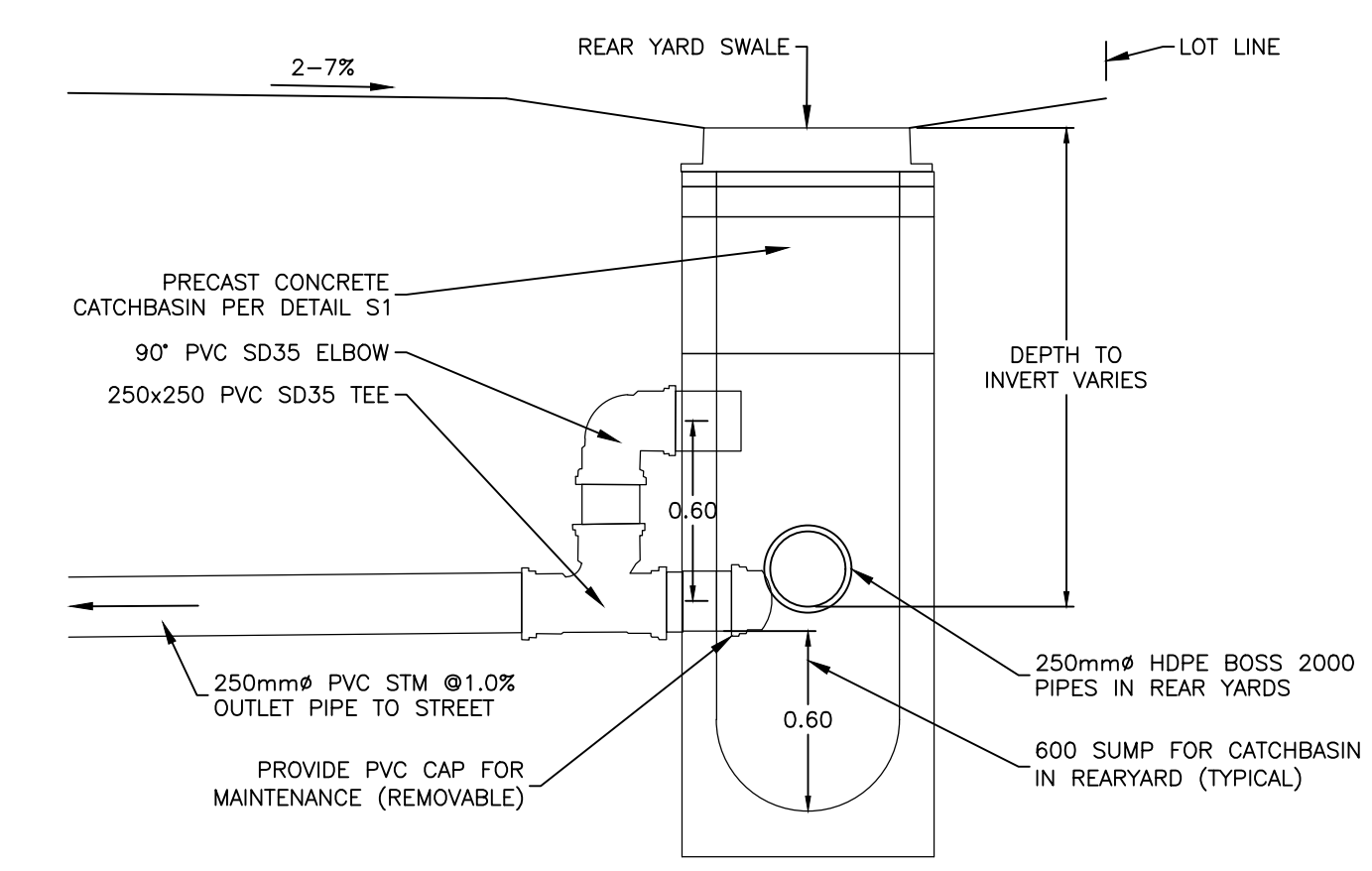
**8** TYPICAL REAR YARD SECTION  
 EAST PROPERTY LINE c/w RETAINING WALL  
 SCALE: 1:50  
 HORIZONTAL 1:50



**3** TYPICAL REAR YARD SECTION  
 c/w INFILTRATION TRENCH SUBDRAIN  
 SCALE: 1:50  
 HORIZONTAL 1:50



**6** TYPICAL REAR YARD SECTION  
 WEST PROPERTY LINE c/w INFILTRATION TRENCH  
 SCALE: 1:50  
 HORIZONTAL 1:50



**REAR YARD CATCHBASIN DETAIL**  
 SCALE: 1:25  
 HORIZONTAL 1:25

**CAUTION**  
 THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

**JOB BENCH MARK** JBM ▲  
 TOP OF HEAD OF MAGNETIC NAIL SET IN SIDE OF CONCRETE SIGN  
 BASE 0.2± ABOVE GRADE ELEVATION=120.77  
 NORTHING=5014575.29 EASTING=349007.23

**TOPOGRAPHIC INFORMATION**  
 PART OF LOT 12, CONCESSION 12, GEOGRAPHIC TOWNSHIP OF GOULBOURN, CITY OF OTTAWA.  
 TOPOGRAPHIC INFORMATION PROVIDED BY FAIRHALL MOFFATT & WOODLAND LIMITED O.L.S (TP3882) SURVEY DATED JANUARY 14, 2020.  
 SITE GRID SYSTEM NAD 83, ZONE 9.

REV	REVISION DESCRIPTION	DATE	BY	APPD
1	ISSUED FOR APPROVAL	05/12/22	SAB	BMT

DESIGNED BY  
 J.L. FITZPATRICK  
 LICENSED PROFESSIONAL ENGINEER  
 2022-05-12  
 PROVINCE OF ONTARIO

REVIEWED BY  
 B.M. THOMAS  
 LICENSED PROFESSIONAL ENGINEER  
 2022-05-12  
 PROVINCE OF ONTARIO

OWNER  
**LATITUDE HOMES**  
 1202 CARP ROAD  
 STITTSVILLE, ON. K2S 1B9

exp Services Inc.  
 1-813-688-1899 | 1-613-225-7330  
 1025 Steeles Avenue East, Unit 100  
 Downsview, ON M3B 8H6  
 Canada  
 www.exp.com

BASEPLAN	PROJECT
SK	SK
DESIGN	JLF
CHECKED	BMT
CAD	SK
PROJECT MANAGER	JLF
APPROVED	BMT

**HAZELDEAN HORIZONS**  
 6171 HAZELDEAN ROAD  
 OTTAWA, ONTARIO.

**DETAIL SHEET 2**  
**TYPICAL SECTIONS**

PROJECT No. 258780  
 SURVEY 238800-FMW  
 DATE 24/07/20  
 DRAWING No. C701

Filename: V:\proj\2022\22072\22072\_2271749\_Plan\_Plot.dwg  
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