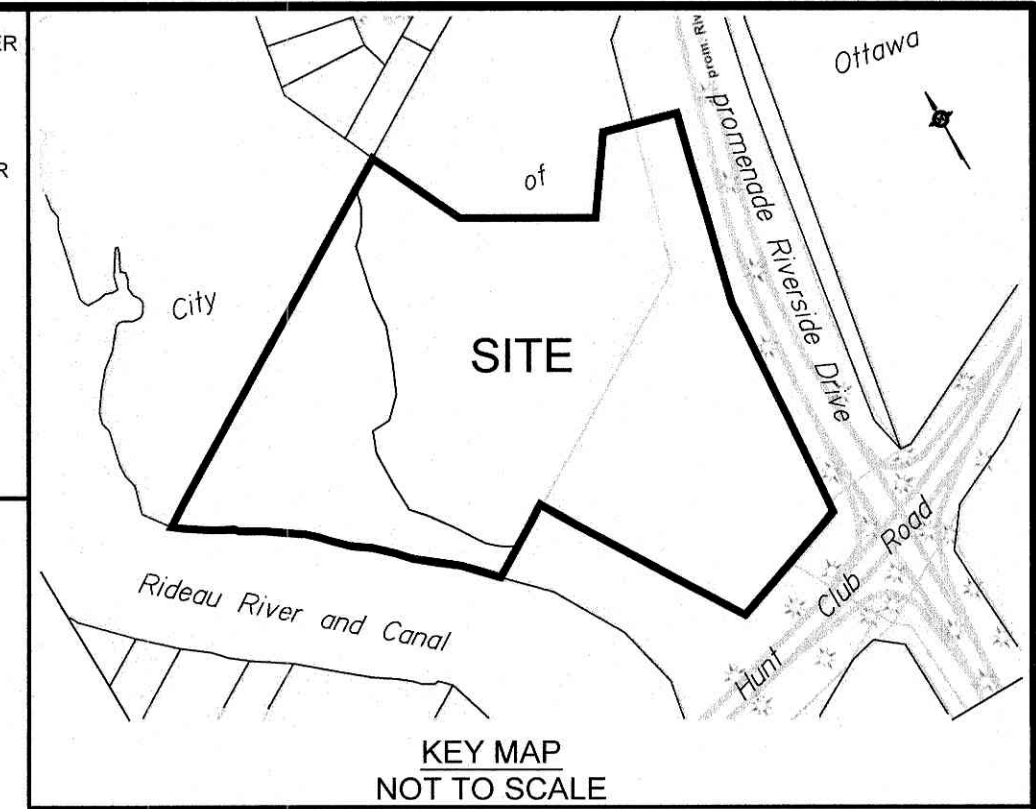


SUBJECT TO THE CONDITIONS, IF ANY, SET FORTH IN OUR LETTER DATED  
May 16, 2025  
THIS DRAFT PLAN IS APPROVED BY THE CITY OF OTTAWA UNDER SECTION 51 OF THE PLANNING ACT.  
THIS 6th DAY OF JUNE 2025  
  
LILY XU, MCIP RPP, MANAGER,  
DEVELOPMENT REVIEW SOUTH  
PLANNING, REAL ESTATE AND ECONOMIC  
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA



REVISION SCHEDULE			
NO.	REVISION	DATE	BY
8	walkway block added	DEC. 12, 2024	N
7	revised Block 46	NOV. 27, 2024	N
6	revised Blocks 33 to 38	DEC. 7, 2023	N
5	added traffic circle, revised Blocks 41/42	SEPT. 7, 2023	N
4	area conversions added to land use table	JAN. 10, 2023	N
3	REVISIONS	NOV. 17, 2022	N
2	REVISIONS	NOV. 15, 2022	N
1	PLAN PREPARED	NOV. 8, 2022	N

DRAFT PLAN OF SUBDIVISION OF  
**PART OF LOT 5  
CONCESSION 2 ( RIDEAU FRONT )**  
Geographic Township of Gloucester  
**CITY OF OTTAWA**  
Prepared by Annis, O'Sullivan , Vollebakk Ltd.  
Scale 1 : 750  
  
Metric  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S CERTIFICATE  
I CERTIFY THAT :  
The boundaries of the lands to be subdivided and their relationship to  
adjoining lands have been accurately and correctly shown.  
May 22, 2025  
Date  
T. Hartwick  
ONTARIO LAND SURVEYOR

OWNER'S CERTIFICATE  
This is to certify that I am the owner / agent of the lands to be subdivided and that  
this plan was prepared in accordance with my instructions.  
Jun 2, 2025  
Date  
Jeff Parkes, President  
St. Mary's Lands Corporation  
I have authority to bind the corporation

ADDITIONAL INFORMATION REQUIRED UNDER  
SECTION 51-17 OF THE PLANNING ACT  
(a) see plan  
(b) see plan  
(c) see plan  
(d) single and multi-family residential housing, park land, open space  
(e) see plan  
(f) see plan  
(g) see plan  
(h) City of Ottawa  
(i) see soils report  
(j) see plan  
(k) sanitary, storm sewers, municipal water, bell, hydro, cable and  
gas to be available  
(l) see plan

PROPOSED LAND USE TABLE				
PROPOSED USE	LOTS/BLOCKS	AREA (sqm)	AREA (Ac)	AREA (Ha)
SINGLE FAMILY	1 - 24	10 219	2.52	1.022
	25 - 32			
	34, 35, 36	12 780	3.16	1.278
TOWNHOMES	42, 43, 44, 45			
APARTMENTS	38, 39, 40, 41	12 480	3.08	1.248
	33	416	0.10	0.042
	37	172	0.04	0.017
PARK	47	2 659	0.66	0.266
	46	1 278	0.32	0.128
	52	2 259	0.56	0.226
ENVIRONMENTAL	55	218	0.05	0.022
	48, 54, 56	19 892	4.92	1.989
	1-4	15 972	3.95	1.597
STREETS		398	0.10	0.040
WIDENING	49, 50			
EMBANKMENT	51	1 322	0.33	0.132
WALKWAY	53	1 510	0.37	0.151
TOTAL SITE AREA = 81 581 sqm 20.16 (Ac) 8.158 (Ha)				