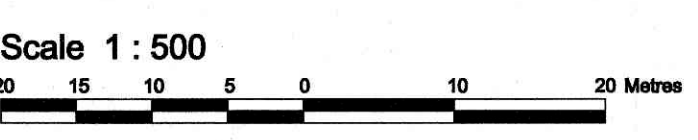


KEY MAP
NOT TO SCALE

METRIC: MEASUREMENTS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

DRAFT PLAN OF SUBDIVISION OF
LOTS 111A, 124, 125, 126, 127, 128, 135
AND PART OF LOTS 112, 141
REGISTERED PLAN 218
CITY OF OTTAWA



SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE SUBDIVIDED AND THEIR RELATIONSHIP TO ADJOINING LANDS ARE CORRECTLY SHOWN.

DATED March 31, 2023

J. Cody Anderson
J. Cody Anderson
ONTARIO LAND SURVEYOR

Annis O'Sullivan, Vollebek Ltd.
ONTARIO LAND SURVEYORS
Job No. 23130-23

OWNER'S CERTIFICATE

I, ME, KARSON HOLDINGS INC. BEING THE REGISTERED OWNER(S), HEREBY AUTHORIZE NOVATECH TO PREPARE AND SUBMIT THIS DRAFT PLAN OF SUBDIVISION TO THE CITY OF OTTAWA FOR REVIEW AND APPROVAL.

DATED _____ owner name _____

ADDITIONAL INFORMATION REQUIRED UNDER SECTION 51 (17) OF THE PLANNING ACT.

- A) The boundaries of the land proposed to be subdivided, certified by an Ontario Land Surveyor.
As shown on Draft Plan
- B) The location, width & names of the proposed highways within the proposed subdivision & of existing highways on which the proposed subdivision abuts.
As shown on Draft Plan
- C) On a small portion, on a scale of not less than 1 cm to 100m, all of the land adjacent to the proposed subdivision that is owned by the applicant or in which the applicant has an interest, every subdivision adjacent to the proposed subdivision & the relationship of the boundaries of the lands to be subdivided to the boundaries of the township lot of their original grant of which the land forms the whole part.
As shown on Draft Plan
- D) The purpose for which the proposed lots are to be used.
Residential and Mixed Use shown on Draft Plan
- E) The existing uses of all adjoining lands.
Village Mixed Use and Agricultural shown on Draft Plan
- F) The approximate dimensions & layout of the proposed lots.
As shown on Draft Plan
- G) Natural & artificial features such as buildings or other structures or installations, railways, highways, watercourses, drainage ditches, wetlands & wooded areas within or adjacent to the land proposed to be subdivided.
As shown on Draft Plan
- H) The availability and nature of domestic water supplies.
Development will be supplied with full municipal piped water service
- I) The nature & capacity of the soil.
Refer to Geotechnical Report submitted with application
- J) Existing contours or elevations as may be required to determine the grade of the highways and the drainage of the land proposed to be subdivided.
Contours shown at 0.25 metre intervals on Draft Plan
- K) The municipal services available or to be available to the land proposed to be subdivided.
Development will be supplied with full sanitary and storm water sewer services.
- L) The nature & extent of any restrictions affecting the land proposed to be subdivided, including restrictive covenants or easements, 1994, c. 28, s. 30, 1996, c. 4, s. 29(2).
As shown on Draft Plan.

3725 CARP ROAD

SOURCE REFERENCE:
Legal Information: Plan of Survey
Annis O'Sullivan Vollebek Ltd. / March 17, 2023
Topographic Information: 1:1000
City of Ottawa / 2015 / MTM Zone 9, NAD83 Orig

SUBJECT TO THE CONDITIONS, IF ANY, SET FORTH IN OUR LETTER DATED _____ THIS DRAFT PLAN IS APPROVED BY THE CITY OF OTTAWA UNDER SECTION 51 OF THE PLANNING ACT THIS _____ DAY OF _____, 20__

DERRICK MOODIE, MANAGER
DEVELOPMENT REVIEW WEST
PLANNING, INFRASTRUCTURE AND ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

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PROJECT No. 121173