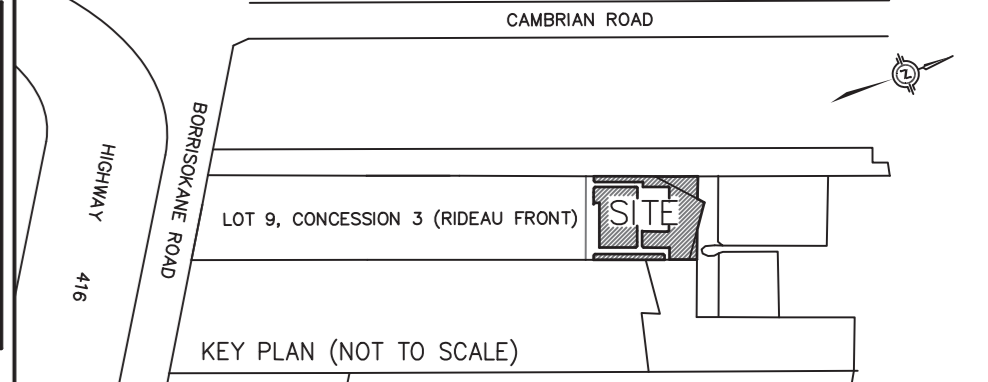


SUBJECT TO THE CONDITIONS, IF ANY, SET FORTH IN OUR LETTER DATED **Feb. 9, 2024**, THIS DRAFT PLAN IS APPROVED BY THE CITY OF OTTAWA UNDER SECTION 51 OF THE PLANNING ACT THIS **18th** DAY OF **March**, 2024.

[Signature]
 LLY XU, MCR, RPP, MANAGER DEVELOPMENT REVIEW SOUTH
 PLANNING, REAL ESTATE AND ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

SCHEDULE OF LAND USE		
LAND USE	BLOCK(S)	AREA (sq. m)
STANDARD TOWNHOUSE	BLOCKS 1 TO 10, INCLUSIVE, BLOCKS 13 TO 16, INCLUSIVE, AND BLOCK 24	50,556.3
BACK TO BACK TOWNHOUSE	BLOCKS 11 AND 12	8,737.9
WALKWAYS	BLOCK 17	252.0
FUTURE GREENBANK	BLOCK 20	586.9
0.30 RESERVES	BLOCKS 18, 19, 21, 22 AND 23	84.1
STREETS	avenue Altitude Avenue, place Pumice Place, promenade Andesite Terrace, rue Lejospe Lane, promenade Kootenay Drive AND rue Obsidian Street	23,495.1
TOTAL:		83,714.3



DRAFT PLAN OF SUBDIVISION OF
**PART OF LOT 9
 CONCESSION 3 (RIDEAU FRONT)**
 AND
**BLOCK 437
 REGISTERED PLAN 4M-1681**
 AND
**BLOCK 121
 REGISTERED PLAN 4M-1731**
 GEOGRAPHIC TOWNSHIP OF NEPEAN
 NOW IN THE
CITY OF OTTAWA
 SCALE 1 : 1000
 J.D. BARNES LIMITED
 © COPYRIGHT 2024

METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES
 ALL DISTANCES ON CURVES ARE ARC DISTANCES UNLESS OTHERWISE SPECIFIED

ADDITIONAL INFORMATION
 As required under section 51(17) of the Planning Act R.S.O. 2001

(a)(b)(c)(d)(e) and (f) - As shown on this Plan.
 (c) - As shown on this Draft and Key Plan.
 (d) - Land to be used in accordance with the Schedule of Land Use.
 (f)(x) - Full Municipal Services
 (i) - Offshore Marine Deposits of silt, clay and silt, Bedrock Ottawa Formation, limestone

ELEVATION NOTES
 1. ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE PUBLISHED BENCHMARK NO. 00119843710, HAVING AN ELEVATION OF 91.724 m.
 2. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE SITE BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN ON THIS DRAWING.
 3. CONTOURS ARE AT 1.00m INTERVALS

SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LAND TO BE SUBDIVIDED ARE CORRECTLY SHOWN.

MARCH 19, 2024
 DATE
[Signature]
 ONTARIO LAND SURVEYOR

OWNER'S CERTIFICATE
 CAIVAN (GREENBANK NORTH) INC. BEING A REGISTERED OWNER OF THE SUBJECT LANDS HEREBY AUTHORIZES J.D. BARNES LIMITED TO PREPARE AND SUBMIT THIS DRAFT PLAN OF SUBDIVISION FOR APPROVAL.

March 20, 2024
 DATE
[Signature]
 PRESIDENT
 CAIVAN (GREENBANK NORTH) INC.

J.D. BARNES SURVEYING MAPPING LIMITED GIS
 LAND INFORMATION SPECIALISTS
 42 STANICE DRIVE, SUITE 103, KANATA, ONTARIO
 T1K 0J3
 (613) 731-7244 F: (613) 254-8659 www.jdbarnes.com

DRAWN BY: NS/M CHECKED BY: NS/CF REFERENCE NO: 19-10-074-00 PH-4
 DATE: 2024/03/22/2024 13
 FILE: G:\19-10-074\00\Drawings\Draft Plan PH-4\19-10-074-00_2024\19-10-074-00.dwg

