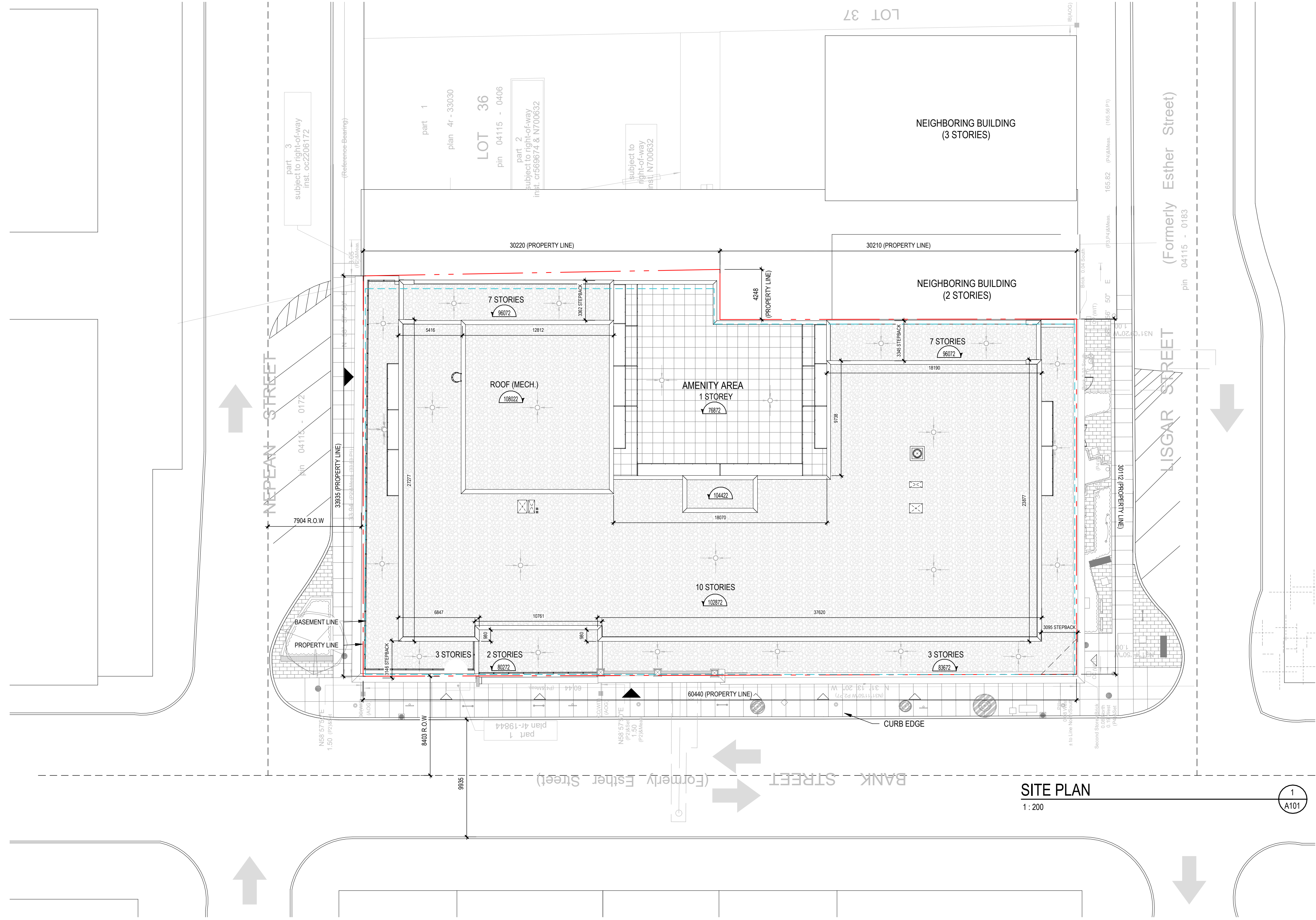


TM H(19) Zoning	Required	Provided
Front Yard	Bank Street	
Minimum Lot Area	No minimum	1943 m ²
Minimum Lot Width	No minimum	60.44 m
Minimum Building Height (m)	6.7 m within 20 m of front lot line	
Maximum Building Height (m)	19 meters as per height restriction in zoning	30 m
Minimum Front Yard Setback (Bank, west)	No minimum	0 m (existing condition)
	Above 15 m, min. front yard setback of 2 meters	3 m setback above 15 m
	2 meters from hydro poles; 5 meters from high-voltage power line	N/A
Maximum Front Yard Setback (Bank, west)	2 meters; does not apply to corner right triangle; areas used for balcony above 2nd floor.	0m (existing condition)
Active Entrances	1 per ground floor occupancy	8
Minimum Side Yard Setback (Nepean, north) (Lisgar,south)	3 m for height up to 15 meters	3 m, up to 3rd floor
	Above 15 m: Ground floor setback plus 2 meters	1.2 m past 3rd floor
Minimum Rear Yard Setback (Back Alley,east)	7.5 meters (abutting R-zone)	0m (existing condition)
Minimum Interior Yard Setback	3 m (mixed-use building abutting R Zone) does not apply, has no interior side yard	N/A
Amenity Space Requirements	6m ² per unit Min. 50% communal, aggregated into areas of 54 m ² and where more than one aggregated area is provided, at least one must be minimum 54 m ² . 263 units* 6 m ² = 1578 m ²	Provided: Balconies: 668 m ² Communal area(GF/basement): 701 m ² Communal area(2nd floor): 228 m ² Communal area (Roof): 200 m ² Total amenity area = 1 797 m ²
Landscape Area	Abutting a residential zone = Min. 3 m; reduced to 1 m where 1.4 m high opaque fence is provided In all other cases = No minimum	N/A
Parking Requirements	Residents: 0.5 spaces/unit after the first 12 units for units above the 4th floor = 125 Visitor: 0.1 spaces/unit after the first 12 units = 25 Commercial: Not required if GFA is less than 200m ² per use	Provided: 0
Aisle and Driveway Width	3m for parking lots with less than 20 parking spaces; 6m for parking lots with more than 20 spaces	N/A
Bicycle Parking	0.5/unit x 263 units=132	Provided: 268

NOTES	CONSTRUCTION LEGEND	ZONING MECHANISM	REGULATION	PROPOSED	AREA SUMMARY	RESIDENTIAL UNITS SUMMARY	LEGEND
<p>SURVEY: PROPERTY BOUNDARY & TOPOGRAPHY INFORMATION WAS DERIVED FROM: • LOT 35 (SOUTH NEPEAN STREET) AND PART OF LOT 3 (EAST BANK STREET) AND PART OF LOT 35 (NORTH LISGAR STREET), REGISTERED PLAN 2996 CITY OF OTTAWA, DATED JULY 29TH, 2022. • SURVEYOR: ANNIS O'SULLIVAN, VOLLEBEKK LTD. (14 CONCOURSE GATE, SUITE 500, NEPEAN, ON, K2E 7S6)</p> <p>NOTE: REFER TO LANDSCAPE PLAN FOR DETAILS ON SURFACE TREATMENT OF PEDESTRIAN WALKWAYS.</p>	<p>EXISTING TO BE CONSERVED</p> <p>NEW CONSTRUCTION</p>	Residential Waste (Solid Waste Collection Design Guidelines for Multi-Unit Residential Development ; 4.2)	<p>Garbage (Compacted) = 0.053y³/unit Require 15y³</p> <p>Recycling (GMP) = 0.018y³/unit Require 6y³</p> <p>Recycling (Fibres) = 0.038y³/unit Require 12y³</p> <p>Organics = 240L containers/ 50 units Require 6 containers</p>	<p>Garbage (Compacted) = (0.053y³/263 units) = 14y³ Total = 5x 3y³ containers</p> <p>Recycling (GMP) = (0.018y³/263 units) = 5y³ Total = 2x 3y³ containers</p> <p>Recycling (Fibres) = (0.038y³/263 units) = 10y³ Total = 4x 3y³ containers</p> <p>Organics = 263 units : 50 = 6 Total = 6 containers</p>	<p>LOT AREA: 1943 m² LOT COVERAGE: 98% GFA: 1895 m²</p>	<p>GROUND FLOOR: 2 UNITS 2ND FLOOR: 32 UNITS 3RD FLOOR: 33 UNITS 4TH TO 7TH FLOOR: (34 UNITS x 4) = 136 UNITS 8TH TO 9TH FLOOR: (30 UNITS x 2) = 60 UNITS</p> <p>TOTAL: 263 UNITS</p>	<p>--- PROPERTY LINE</p> <p>- - - PROJECTION LINE BASEMENT</p> <p>▲ RESIDENTIAL ENTRANCE</p> <p>△ COMMERCIAL ENTRANCE</p>



SITE PLAN
1:200

NOTES GÉNÉRALES - General Notes

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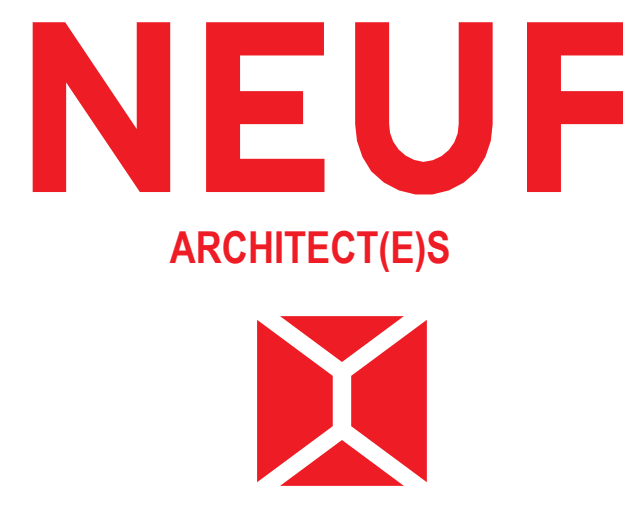
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SEAL/Seal



CLIENT: Client
SMART LIVING PROPERTIES
228 Argyle Avenue, Ottawa, Ontario K2P 1B9

OUVRAGE: Project
211-231 BANK

EMPLACEMENT: Location
211-231 BANK STREET,
OTTAWA

NO. PROJET No.
13369

NO	REVISION	DATE (aaaa mm jj)
1	30% FOR COORDINATION	2024.04.12
2	60% FOR COORDINATION	2024.10.03

**Preliminary
DO NOT USE FOR
CONSTRUCTION**

DESSINÉ PAR: Drawn by
S.W.

VERIFIÉ PAR: Checked by
M.M. HG

DATE (aaaa mm jj)
2024.10.03

ECHELLE: Scale
As indicated

TITRE DU DESSIN: Drawing Title

SITE PLAN

NO. DESSIN: Drawing Number
2

NO. PROJET: Project Number
A101