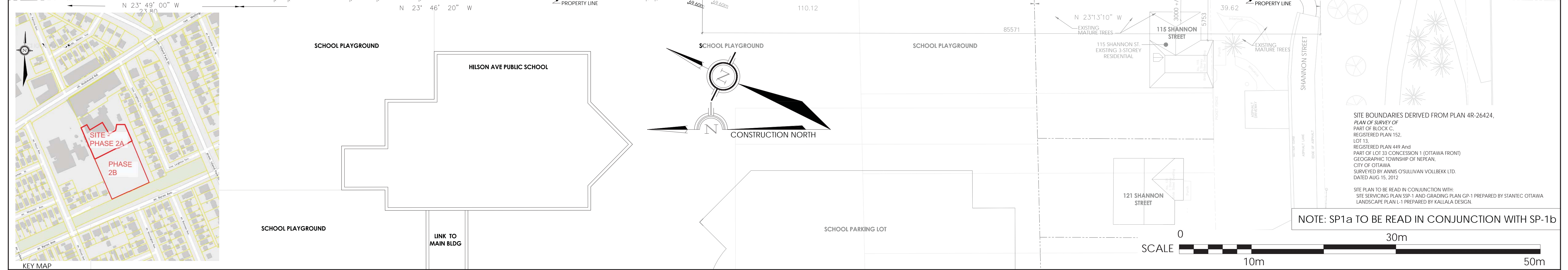
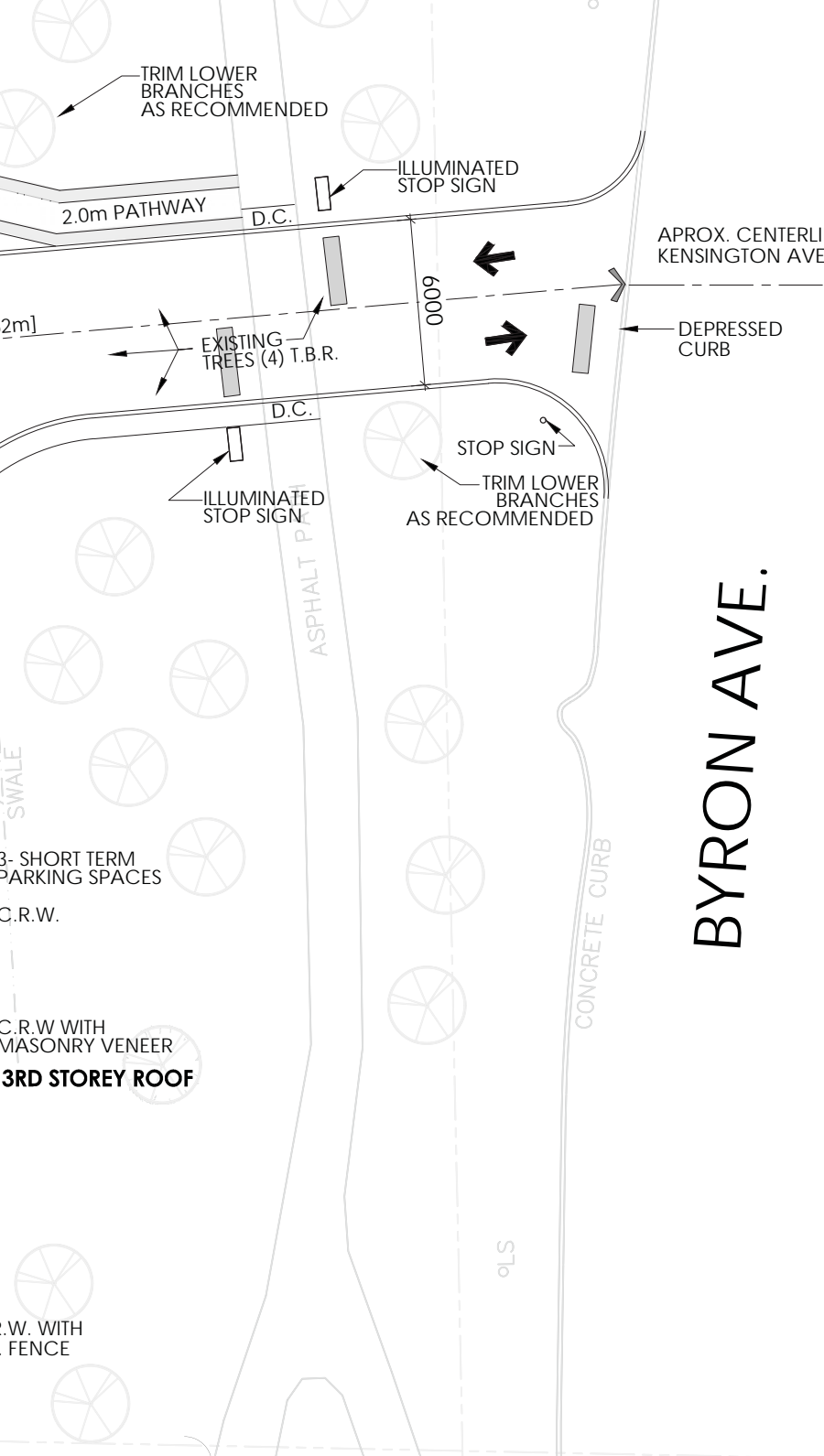


- LEGEND**
- 1 PLANTING AREA - REFER TO LANDSCAPE PLANS
 - 2 RAISED PLANTING AREA C/W PRECAST UNIT WALLS - REFER TO LANDSCAPE PLANS
 - 3 PRECAST UNIT OR CONCRETE LANDSCAPE WALL, EQUAL OR LESS THAN 600mm HEIGHT - SEE ARCHITECTURAL DETAILS
 - 4 RETAINING WALL C/W SMOOTH REINFORCED CONCRETE, GREATER THAN 600mm HEIGHT - REFER TO ENGINEERING DETAILS
 - 5 1100mm HIGH SMOOTH CONCRETE UPSAND & GUARD - REFER TO ARCHITECTURAL DETAILS
 - 6 CONCRETE CURB - SEE ARCHITECTURAL DETAILS
 - 7 EXISTING SIDEWALK
 - 8 NEW CONCRETE SIDEWALK
 - 9 EXISTING DRIVEWAY
 - 10 BENCH - MAGLUM 300 SERIES BACKLESS
 - 11 TABLE - REFER TO LANDSCAPE SPECIFICATIONS
 - 12 EXTENT OF PHASE 2-Aa BLDG B LANDSCAPE WORK
 - 13 SALVAGED STONE WALL - REFER TO ARCHITECTURAL DETAILS
 - 14 EXTENT OF CANTILEVERED GLASS CANOPY - SEE ARCH DETAILS
 - 15 CONCRETE STAIRS - SEE ARCHITECTURAL DETAILS
 - 16 1100mm HIGH PRE-FINISHED ALUM. GATE AND FENCE
 - 17 OUTLINE OF BUILDING ABOVE
 - 18 OUTLINE OF BUILDING ABOVE
 - 19 EXTENT OF FOUNDATION BELOW GRADE
 - 20 INTAKE / EXHAUST GRATE
 - 21 1.6m HIGH GLAZED WIND SCREEN
 - 22 TIERED CONCRETE SEATING - REFER TO ARCHITECTURAL DETAILS
 - 23 SMOOTH EXPOSED CONCRETE STRUCTURAL COLUMNS
 - 24 EXISTING CONVENT BASEMENT PROPOSED NEW WINDOW WELL
 - AD AREA DRAIN - REFER TO SITE GRADING PLAN
 - DC DEPRESSED CURB - REFER TO ARCHITECTURAL CURB DETAILS
 - LP LAMP POST
 - BP(4) 0.6m x 1.8m HORIZONTAL BIKE PARKING (4 SPACES) - SEE BIKE PARKING DETAILS 2/SP-1b

2 SP-1a



SITE BOUNDARIES DERIVED FROM PLAN 4R-26424, PLAN OF SURVEY OF PART OF BLOCK C, REGISTERED PLAN 152, LOT 13, REGISTERED PLAN 449 And PART OF LOT 33 CONCESSION 1 (OTAWA FRONT) GEOGRAPHIC TOWNSHIP OF NEPEAN, CITY OF OTTAWA SURVEYED BY ANNIS O'SULLIVAN VOLLBECK LTD. DATED AUG 15, 2012

SITE PLAN TO BE READ IN CONJUNCTION WITH: SITE SERVICING PLAN SSP-1 AND GRADING PLAN GP-1 PREPARED BY STANTEC OTTAWA LANDSCAPE PLAN L-1 PREPARED BY KALLALA DESIGN.

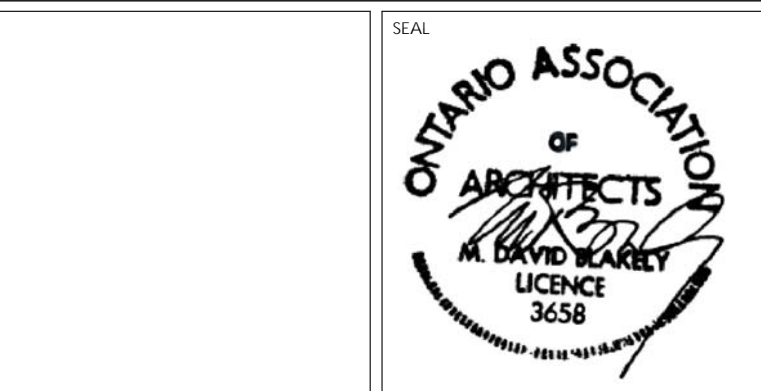
NOTE: SP1a TO BE READ IN CONJUNCTION WITH SP-1b

M. David Blakely Architect Inc.
 2300 Piche of Wexham Dr. Suite 101 Ottawa, Ontario
 Phone (613) 226-8811 Fax (613) 226-7942 k2E 629

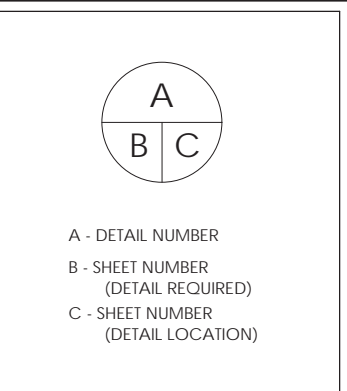
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NOTE: SEE SP1b FOR BUILDING 'B' SITE PLAN INFORMATION



NO.	DATE	DESCRIPTION	INTI.	NO.	DATE	DESCRIPTION	INTI.
12				24			
11				23			
10				22			
9				21			
8				20			
7				19			
6				18			
5	28/06/23	SITE PLAN CONTROL COMMENTS	KB	17			
4	24/05/23	FOR BUILDING B CLIENT REVIEW	KB	16			
3	06/02/23	SITE PLAN CONTROL COMMENTS	KB	15			
2	24/01/23	SITE PLAN CONTROL COMMENTS	KB	14			
1	02/06/22	BUILDING 'B' FOR SITE PLAN CONTROL	KB	13			



PROJECT: **O WEST**
 114 RICHMOND ROAD
 OTTAWA, ONTARIO

CUSTOMER: **ASHCROFT HOMES**

DRAWING TITLE: **SITE PLAN OF PHASE 2-Aa FOR BUILDING 'B'**
 (ALSO SHOWN WITH PHASE 2-Ab and PHASE 2-B)

DATE: MARCH 2022

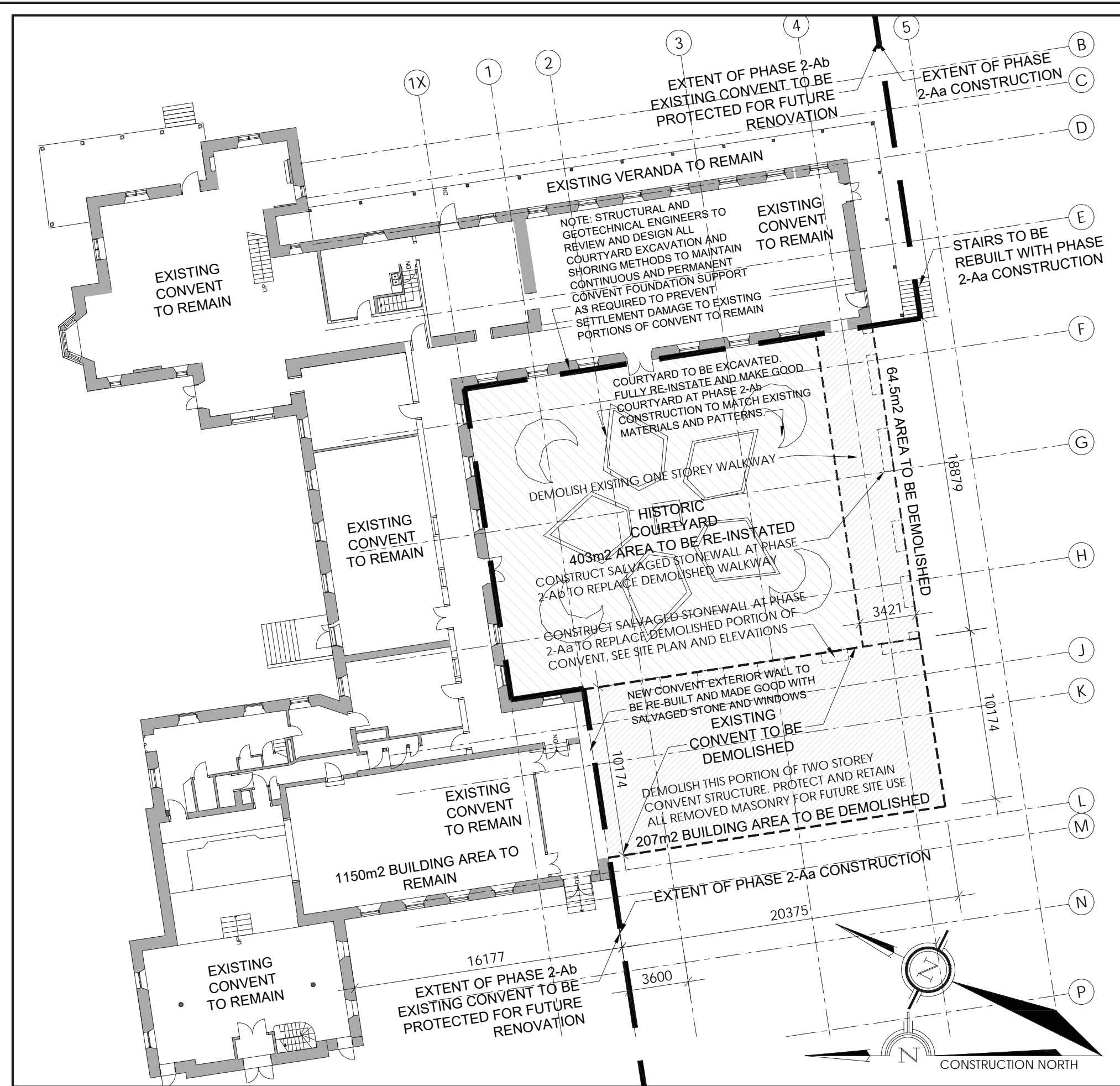
SCALE: 1 : 250

DRAWN BY: KB/mdb

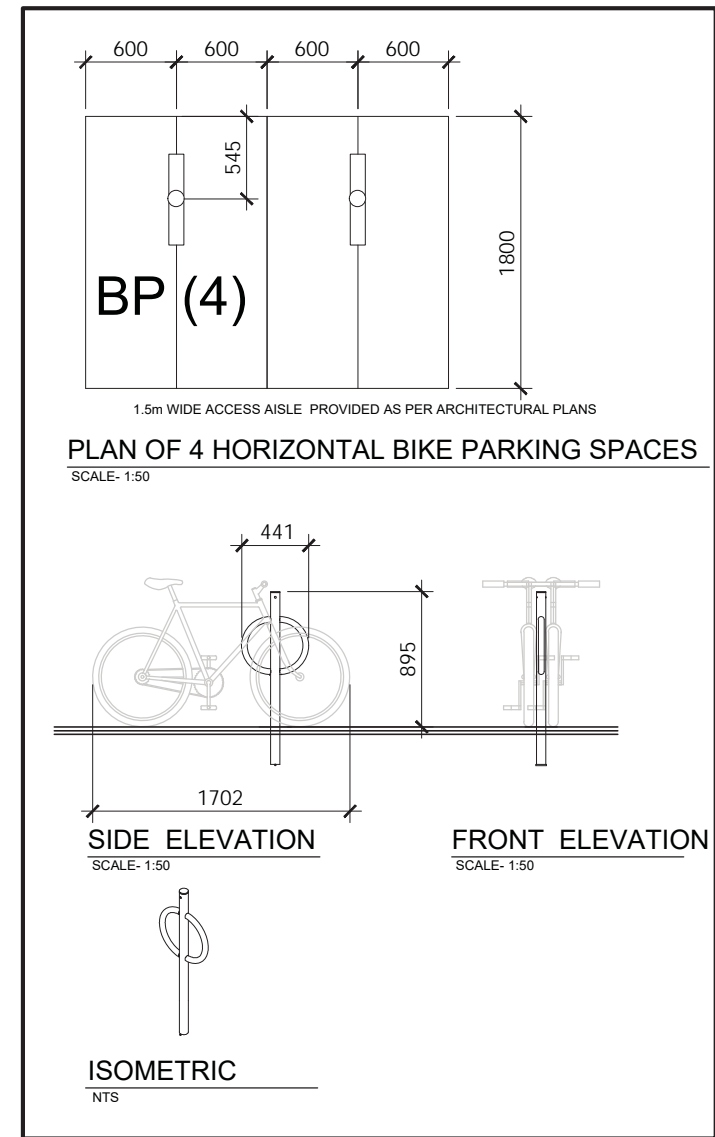
CHECKED: MDB

SHEET NO. REV. NO.: **SP1a**

000-00-00-0000



1 PHASE 2-Ab CONVENT PARTIAL DEMOLITION PLAN
SP-1b/ SCALE 1 : 250



2 EXTERIOR SITE BIKE PARKING DETAILS
SP-1b

3 LEGEND
SP-1b

1	PLANTING AREA - REFER TO LANDSCAPE PLANS	16	1100mm HIGH PRE-FINISHED ALUM. GATE AND FENCE - REFER TO LANDSCAPE PLAN
2	RAISED PLANTING AREA C/W PRECAST UNIT WALLS - REFER TO LANDSCAPE PLANS	17	OUTLINE OF BUILDING ABOVE
3	PRECAST UNIT OR CONCRETE LANDSCAPE WALL, EQUAL OR LESS THAN 600mm HEIGHT - SEE ARCHITECTURAL DETAILS	18	OUTLINE OF BALCONY ABOVE
4	RETAINING WALL C/W SMOOTH REINFORCED CONCRETE, GREATER THAN 600mm HEIGHT - REFER TO ENGINEERING DETAILS	19	EXTENT OF FOUNDATION BELOW GRADE
5	1100mm HIGH SMOOTH CONCRETE UPSLAND & GUARD - REFER TO ARCHITECTURAL DETAILS	20	INTAKE / EXHAUST GRATE
6	CONCRETE CURB - SEE ARCHITECTURAL DETAILS	21	1.6m HIGH GLAZED WIND SCREEN
7	EXISTING SIDEWALK	22	TIERED CONCRETE SEATING - REFER TO ARCHITECTURAL DETAILS
8	NEW CONCRETE SIDEWALK	23	SMOOTH EXPOSED CONCRETE STRUCTURAL COLUMNS
9	EXISTING DRIVEWAY	24	EXISTING CONVENT BASEMENT PROPOSED NEW WINDOW WELL
10	BENCH - MAGLIN 300 SERIES BACKLESS	AD	AREA DRAIN - REFER TO SITE GRADING PLAN
11	TABLE - REFER TO LANDSCAPE SPECIFICATIONS	DC	DEPRESSED CURB - REFER TO ARCHITECTURAL CURB DETAILS
12	EXTENT OF PHASE 2-Aa BLDG B LANDSCAPE WORK	LP	LAND POST
13	SALVAGED STONE WALL - REFER TO ARCHITECTURAL DETAILS	BP (4)	0.6m x 1.8m HORIZONTAL BIKE PARKING (4 SPACES) - SEE BIKE PARKING DETAILS 2/SP-1b
14	EXTENT OF CANTILEVERED GLASS CANOPY - SEE ARCH. DETAILS		
15	CONCRETE STAIRS - SEE ARCHITECTURAL DETAILS		

4 BUILDING 'B' PHASE 2-Aa AVERAGE GRADE CALCULATIONS
SP-1b

POINT	ELEVATION DIFFERENTIAL X DISTANCE	TOTAL
A	68.65+68.49/2 = 68.57 X 8.35m	573
B	68.49+68.49/2 = 68.49 X 20.1m	1377
C	68.49+68.50/2 = 68.50 X 12.3m	842
D	68.50+71.95/2 = 70.23 X 6.7m	471
E	71.95+71.95/2 = 71.95 X 32.3m	2324
F	68.45+68.45/2 = 68.45 X 18m	1232
G	68.45+68.72/2 = 68.59 X 22m	1509
H	69.83+69.90/2 = 69.86 X 22m	1537
J	71.95+71.95/2 = 71.95 X 51.4m	3698

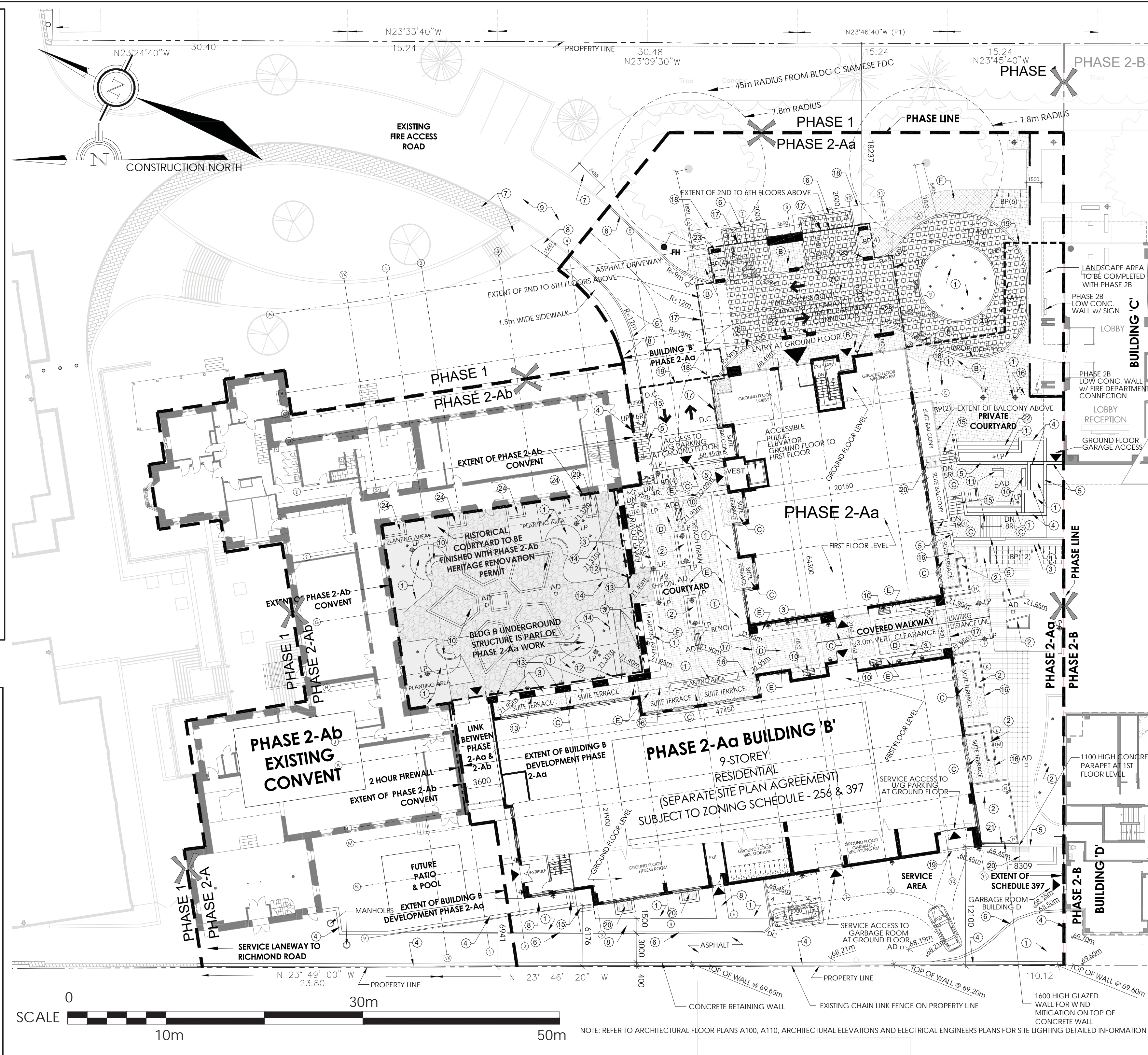
SUM OF TOTAL = 13563m SUM OF DISTANCE = 193.15m
AVERAGE GRADE = 13563 / 193.15 = 70.22m

4 BUILDING 'B' PHASE 2-Aa AVERAGE GRADE CALCULATIONS
SP-1b

5 BUILDING 'B' PHASE 2-Aa SITE PLAN
SP-1b/ SCALE 1 : 250

UNIT TYPES:	1 BED	93 UNITS	2 BED	94 UNITS
TOTAL APARTMENT DWELLING UNITS = 187				

5 BUILDING 'B' PHASE 2-Aa SITE PLAN
SP-1b/ SCALE 1 : 250

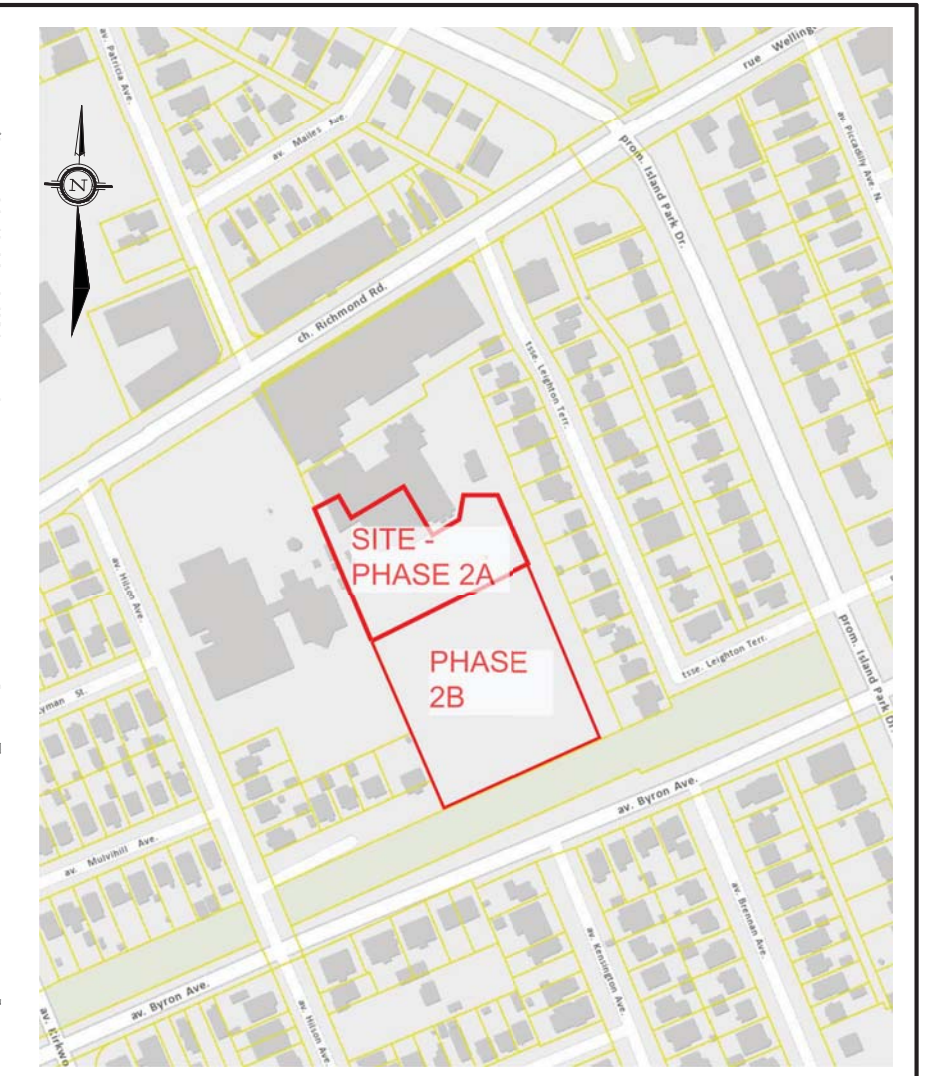


5 BUILDING 'B' PHASE 2-Aa SITE PLAN
SP-1b/ SCALE 1 : 250

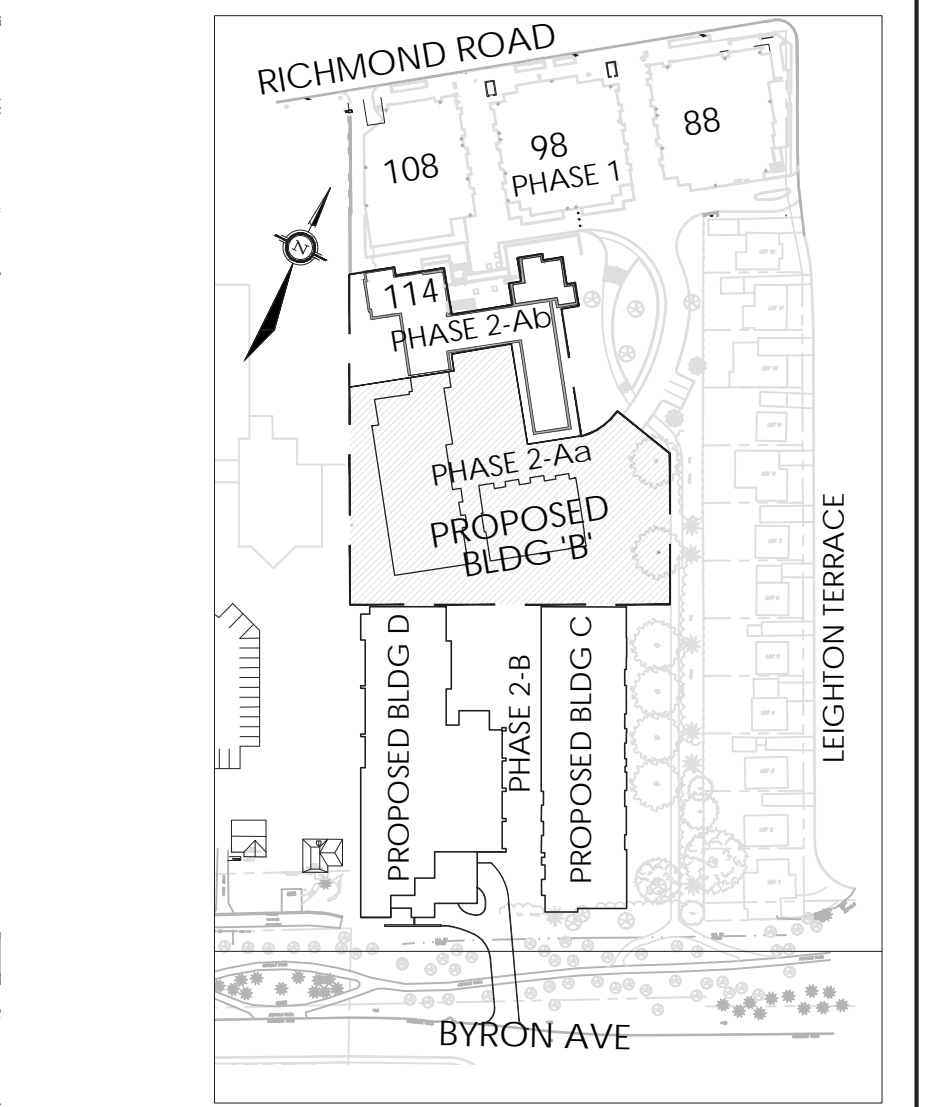
6 BUILDING 'B' PHASE 2-Aa INFORMATION
SP-1b

SITE INFORMATION [PHASE 2A]		BUILDING 'B' STATISTICS - 9 STOREYS		BUILDING 'B' AMENITY AREA		PARKING		BIKE PARKING		SITE BOUNDARIES DERIVED FROM PLAN 4R-26424, PLAN OF SURVEY OF PART OF BLOCK C, REGISTERED PLAN 152, LOT 13, REGISTERED PLAN 449 AND PART OF LOT 33 CONVEYANCE 1 (OTTAWA FRONT) GEORGIAN TOWNSHIP OF NEPEAN, CITY OF OTTAWA, SURVEYED BY ANNIS O'SULLIVAN VOLLEBK LTD. DATED AUG 15, 2012.	
ZONING: 1M [1763] S256 & S257	SITE AREA: 4257m ²	Zoning GFA	Gross Overall	REQUIRED = 187 x 6m ² / D.U. = 1122m ²	REQUIRED = 187 D.U. - 12 D.U. X 0.5 = 88 SPACES REQUIRED	REQUIRED = 187 D.U. X 0.5 / D.U. = 94 BIKE PARKING SPACES	REQUIRED = 187 D.U. X 0.5 / D.U. = 94 BIKE PARKING SPACES	REQUIRED = 187 D.U. X 0.5 / D.U. = 94 BIKE PARKING SPACES	REQUIRED = 187 D.U. X 0.5 / D.U. = 94 BIKE PARKING SPACES	REQUIRED = 187 D.U. X 0.5 / D.U. = 94 BIKE PARKING SPACES	REQUIRED = 187 D.U. X 0.5 / D.U. = 94 BIKE PARKING SPACES

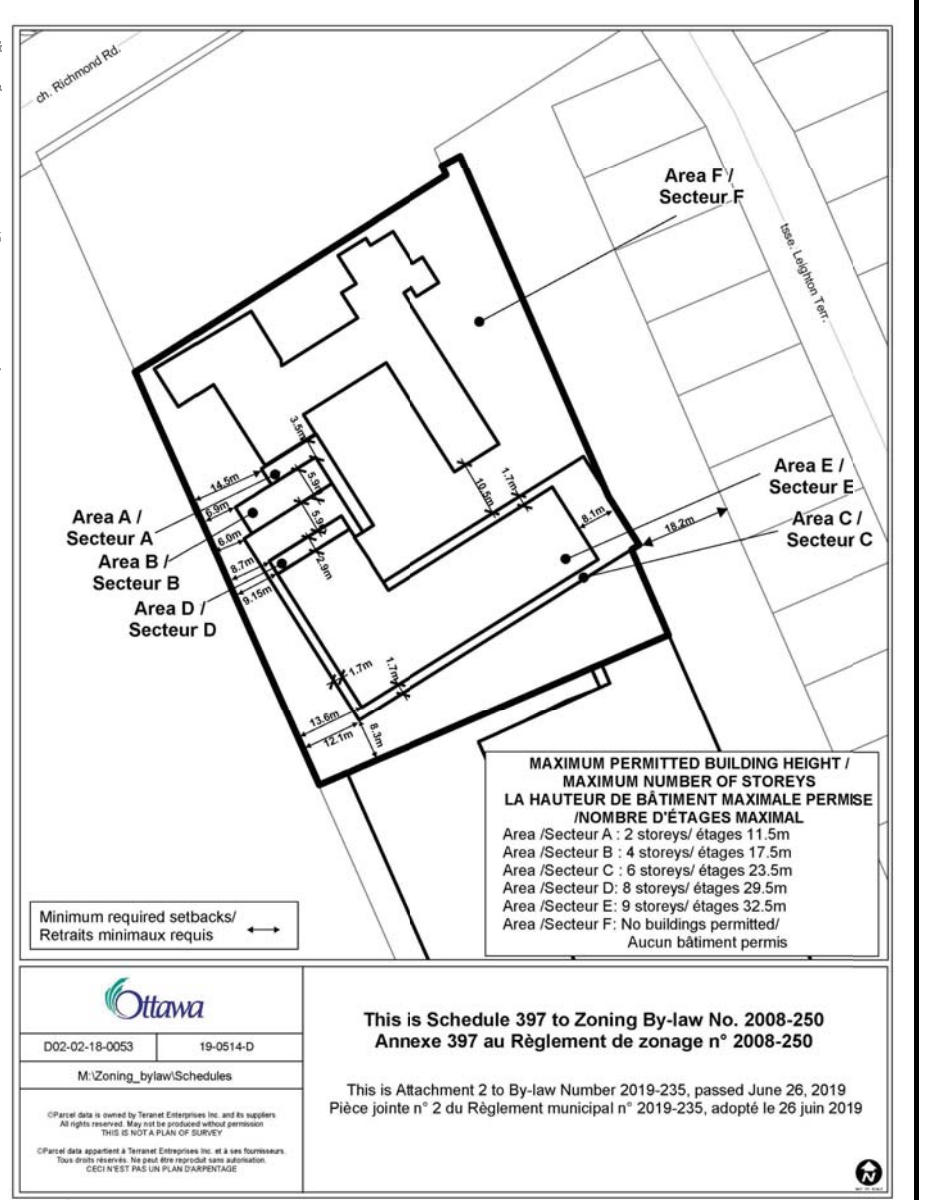
6 BUILDING 'B' PHASE 2-Aa INFORMATION
SP-1b



7 KEY MAP
SP-1b/ NOT TO SCALE



8 SITE DIAGRAM
SP-1b 1 : 2000



9 SCHEDULE 397 to BY-LAW No. 2008-250
SP-1b

M. David Blakely Architect Inc.
2300 Prince of Wales Dr. Suite 101 Ottawa, Ontario
Phone (613) 226-8811 Fax (613) 226-7942 k2e 629

NOTE: SEE SP1a FOR ADDITIONAL SITE PLAN INFORMATION

ONTARIO ASSOCIATION OF ARCHITECTS
K. DAVID BLAKELY
LICENCE 3658

No.	DATE	DESCRIPTION	INT.	No.	DATE	DESCRIPTION	INT.
1	02/06/22	FOR SITE PLAN CONTROL SUBMISSION	KB	13			
2	24/07/23	SITE PLAN CONTROL COMMENTS	KB	14			
3	06/02/23	SITE PLAN CONTROL COMMENTS	KB	15			
4	24/05/23	FOR BUILDING B CLIENT REVIEW	KB	16			
5	28/06/23	SITE PLAN CONTROL COMMENTS	KB	17			

O WEST
114 RICHMOND ROAD
OTTAWA, ONTARIO

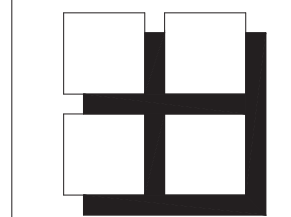
ASHCROFT HOMES

SITE PLAN - PHASE 2-Aa BUILDING 'B' AND DEMOLITION PLAN - PHASE 2-Aa

DATE: MARCH 2022
SCALE: 1 : 250
DRAWN BY: KB
CHECKED: MDB

SHEET NO. REV. NO.: **SP1b**

000-00-0000



**M. David Blakely
Architect Inc.**

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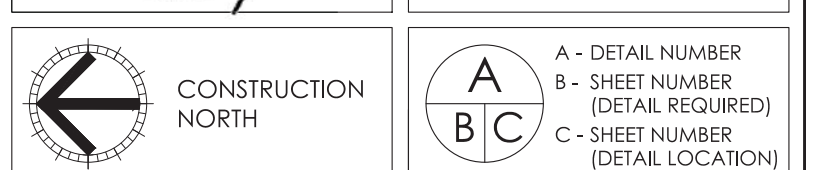
PARKING LEGEND

* COMPACT CAR = REDUCED SPACE
MIN. 2.4m X 4.6m

- P1 GARAGE LEVEL**
40 PARKING SPACES TOTAL
23 REDUCED SPACE
- P2 GARAGE LEVEL**
64 PARKING SPACES TOTAL
28 REDUCED SPACE
- P3 GARAGE LEVEL**
56 PARKING SPACES TOTAL
24 REDUCED SPACE

BLDG 'B' PARKING GARAGE TOTAL
160 PARKING SPACES TOTAL
75 REDUCED SPACES = 47%

12.		
11.		
10.		
9.		
8.		
7.		
6.		
5.		
4.	28/06/23 SITE PLAN CONTROL COMMENTS	KB
3.	24/05/23 CLIENT REVIEW/ STRUCT. CO-ORD.	KB
2.	24/02/23 FOR REVIEW	KB
1.	11/01/23 FOR CLIENT REVIEW	KB
#	DATE	DESCRIPTION
REVISIONS		

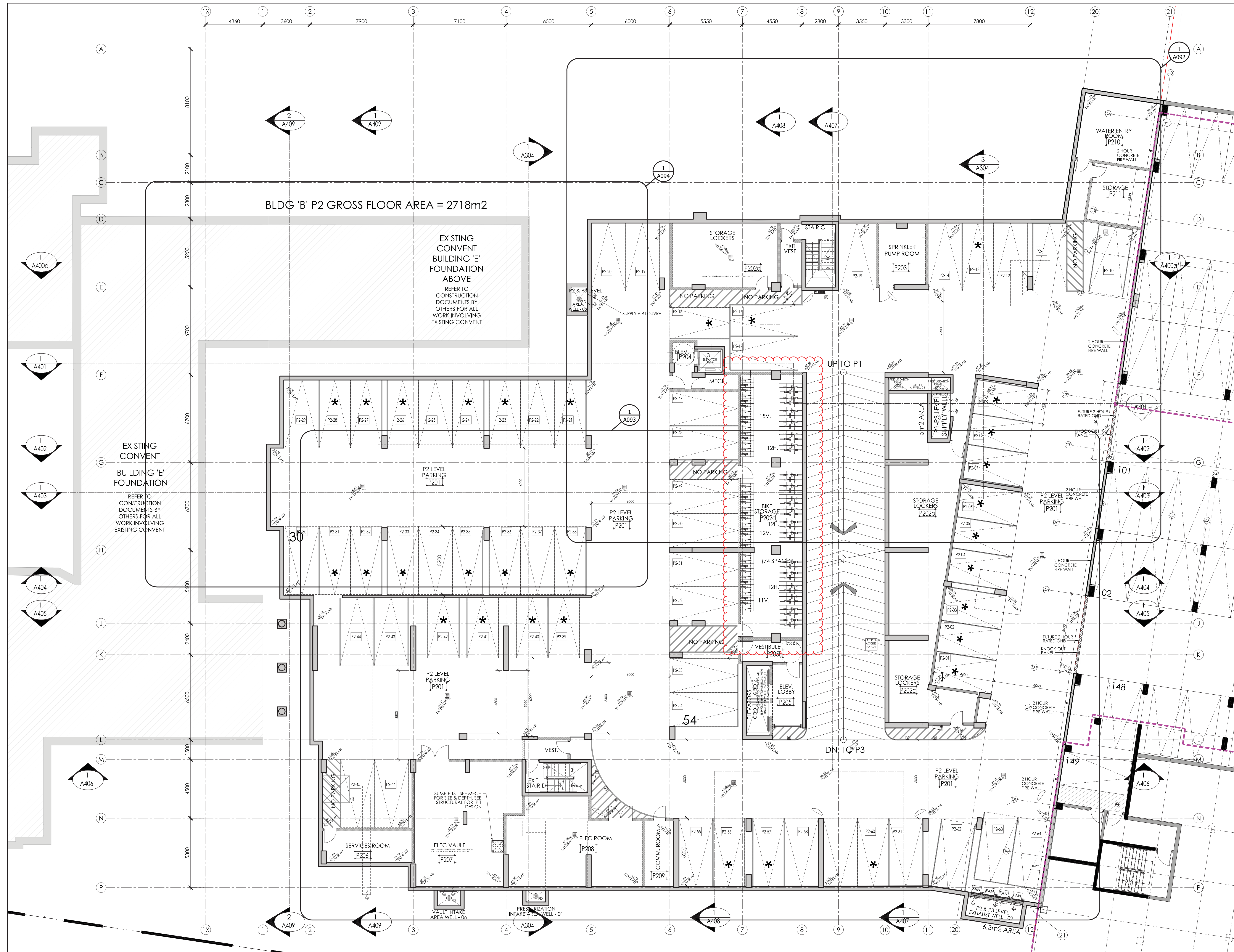


PROJECT **Q WEST BUILDING 'B' 9 STOREY APARTMENT BUILDING OTTAWA, ONTARIO**

CLIENT **ASHCROFT**

DRAWING TITLE **P2 LEVEL**

DATE NOV 2022 SCALE 1:125 SHEET No. **A090**
DRAWN BY: KB CHECKED: MDB REV. 04



BLDG 'B' P2 GROSS FLOOR AREA = 2718m2

EXISTING CONVENT BUILDING 'E' FOUNDATION ABOVE
REFER TO CONSTRUCTION DOCUMENTS BY OTHERS FOR ALL WORK INVOLVING EXISTING CONVENT

EXISTING CONVENT BUILDING 'E' FOUNDATION
REFER TO CONSTRUCTION DOCUMENTS BY OTHERS FOR ALL WORK INVOLVING EXISTING CONVENT

P2 LEVEL PARKING [P201]

P2 LEVEL PARKING [P201]

P2 LEVEL PARKING [P201]

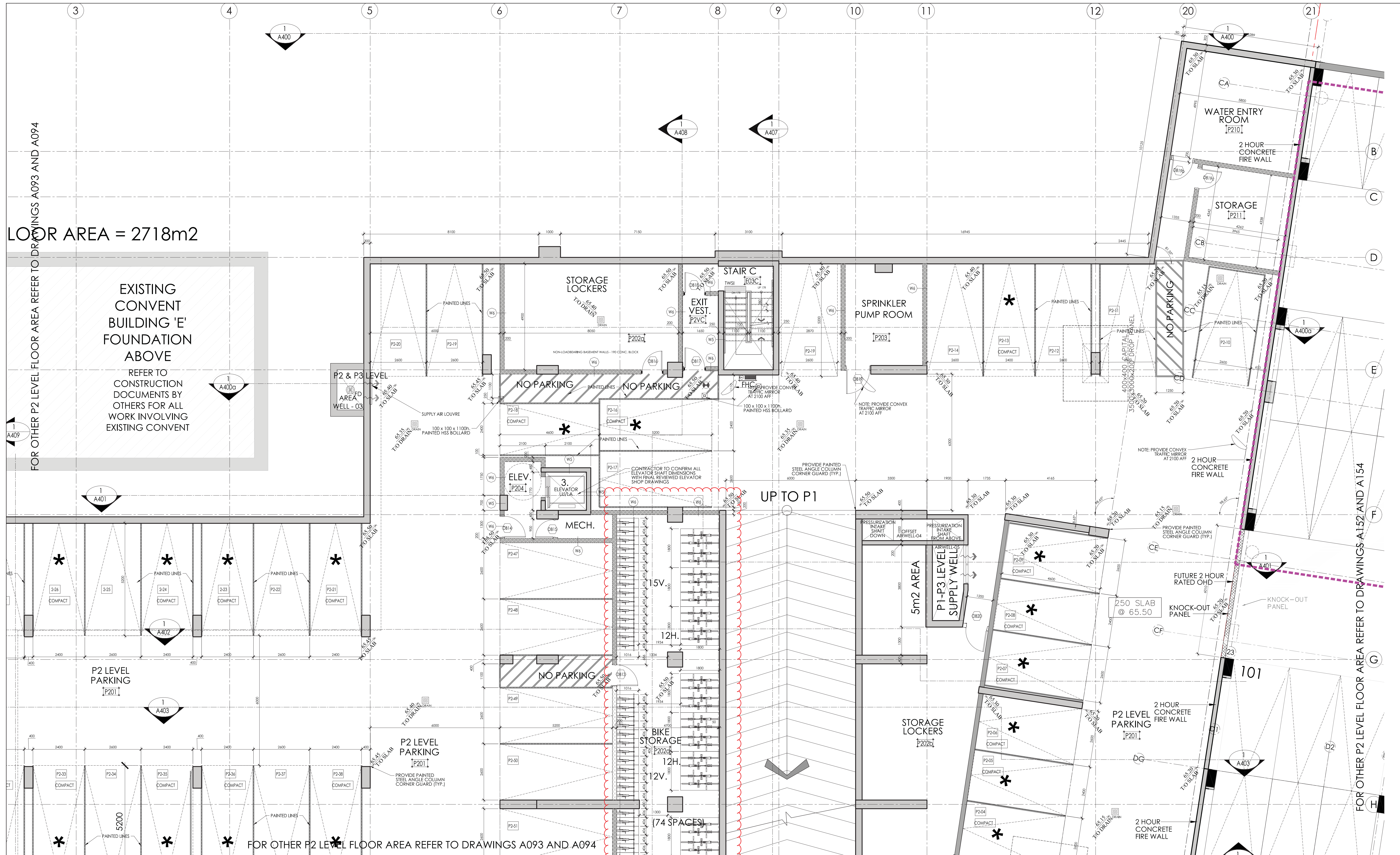
SERVICES ROOM [P206]

ELEC VAULT [P207]

ELEC ROOM [P208]

COMM. ROOM [P209]

6.3m2 AREA



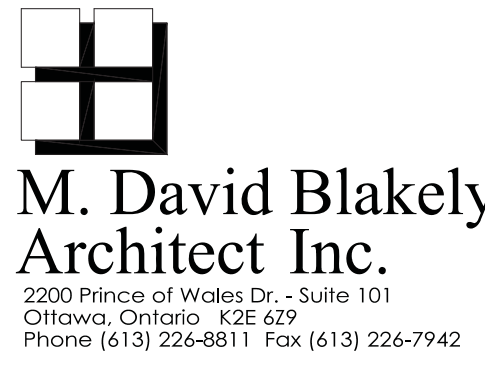
FOR OTHER P2 LEVEL FLOOR AREA REFER TO DRAWINGS A093 AND A094

FLOOR AREA = 2718m²

EXISTING CONVENT BUILDING 'E' FOUNDATION ABOVE
REFER TO CONSTRUCTION DOCUMENTS BY OTHERS FOR ALL WORK INVOLVING EXISTING CONVENT

FOR OTHER P2 LEVEL FLOOR AREA REFER TO DRAWINGS A152 AND A154

FOR OTHER P2 LEVEL FLOOR AREA REFER TO DRAWINGS A093 AND A094

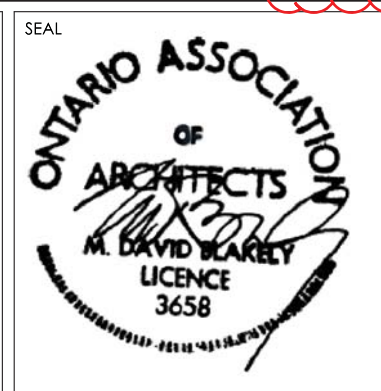


GENERAL NOTES:

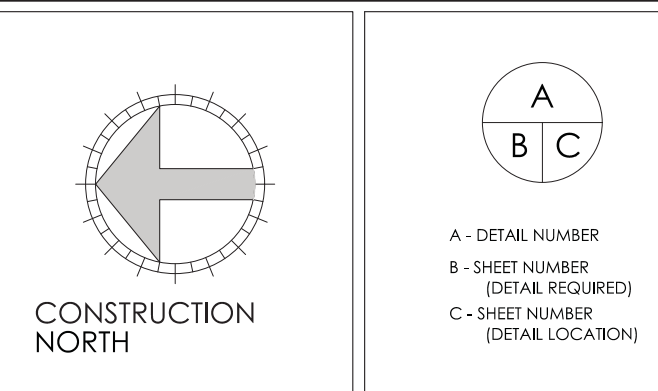
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LEGEND

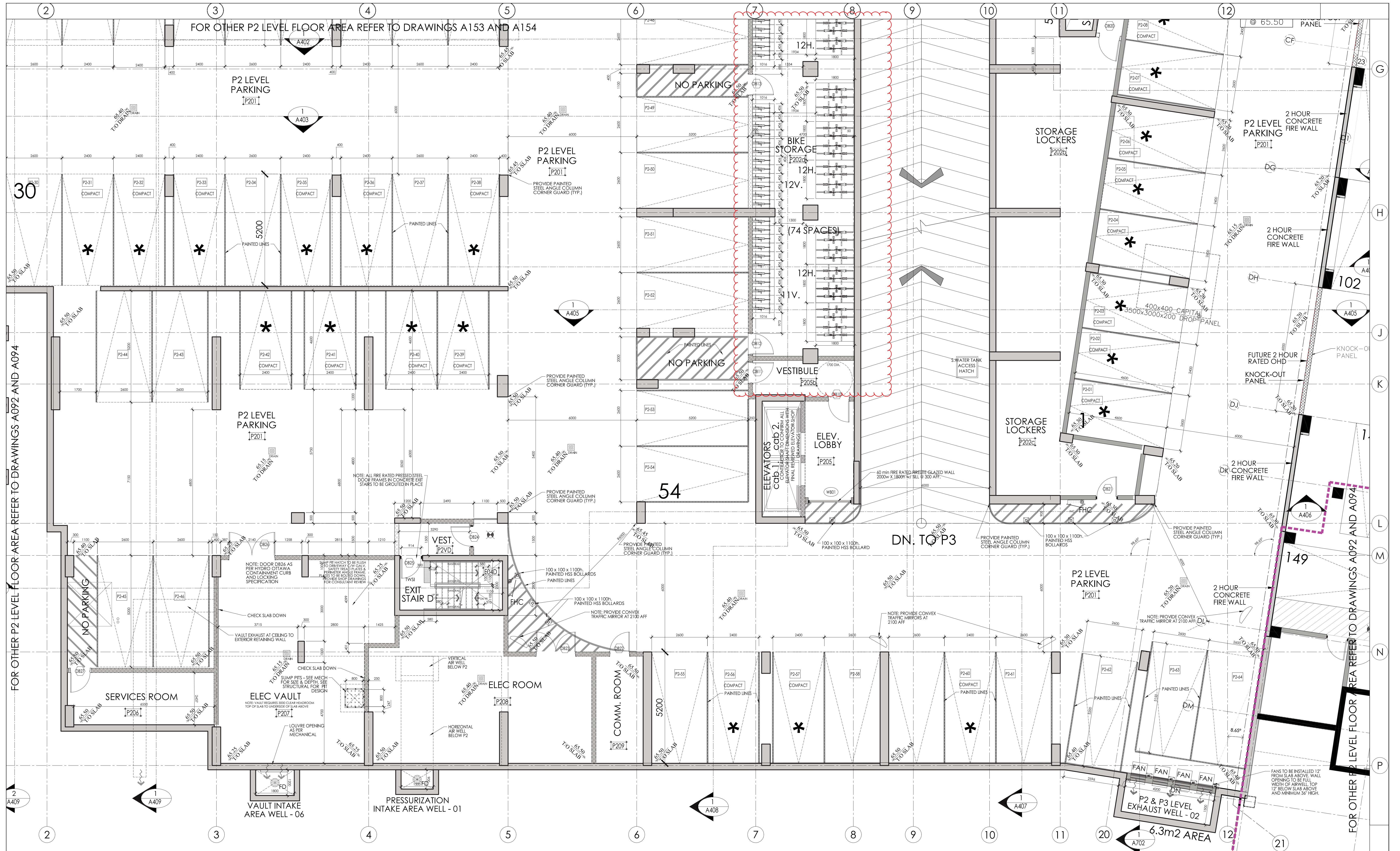
- (W) WALL TYPE
- (D) DOOR NUMBER
- (R) ROOM / SUITE NUMBER
- (W) WINDOW NUMBER
- (C) INDICATES UNITS COMPLYING TO O.B.C. 3.8.2.1 (4)



NO.	DATE	DESCRIPTION	REV.	NO.	DATE	DESCRIPTION	REV.
1	28/06/23	SITE PLAN CONTROL COMMENTS	KB	16			
2	24/05/23	CLIENT REVIEW/ STRUCT. CO-ORD.	KB	15			
3	24/02/23	FOR REVIEW	KB	14			
4	1/23/01/23	FOR REVIEW	KB	13			



PROJECT: Q WEST BUILDING 'B' 9 STOREY APARTMENT BUILDING OTTAWA, ONTARIO		DRAWING TITLE: PART OF P2 BASEMENT LEVEL ENLARGED PLAN	
CURRENT: ASHCROFT		DATE: NOV 2022	SCALE: 1 : 75
DATE: NOV 2022		CHECKED: MDB	SHEET NO. REV. NO.: A092 REV. 04
DRAWN BY: KB		DATE: NOV 2022	



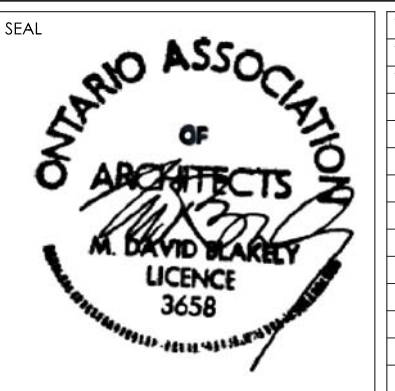
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 2200 Prince of Wales Dr. - Suite 101
 Ottawa, Ontario K2E 6Z9
 Phone (613) 226-8811 Fax (613) 226-7942

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LEGEND

(Symbol)	WALL TYPE
(Symbol)	DOOR NUMBER
(Symbol)	ROOM / SUITE NUMBER
(Symbol)	WINDOW NUMBER
(Symbol)	INDICATES UNITS COMPLYING TO O.B.C. 3.5.2.1 (4)



NO.	DATE	DESCRIPTION	REVISIONS
1.	28/04/23	SITE PLAN CONTROL COMMENTS	KB
2.	24/05/23	CLIENT REVIEW / STRUCT. CO-ORD.	KB
3.	24/02/23	FOR REVIEW	KB
4.	11/23/01/23	FOR REVIEW	KB

CONSTRUCTION NORTH

A - DETAIL NUMBER
 B - SHEET NUMBER (DETAIL REQUIRED)
 C - SHEET NUMBER (DETAIL LOCATION)

PROJECT: Q WEST BUILDING 'B'
 9 STOREY APARTMENT BUILDING
 OTTAWA, ONTARIO

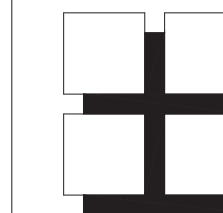
DRAWING TITLE: P2 BASEMENT LEVEL
 ENLARGED PLAN

CURRENT: **ASHCROFT**

DATE: NOV 2022
DRAWN BY: KB

SCALE: 1 : 75
CHECKED: MDB

SHEET NO. REV. NO.: A093
 REV. 04



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EXTERIOR LIGHTING LEGEND

ELECTRICAL	DESCRIPTION
ELT-A	BEGA 24590, BLACK 15.6W 600mm HIGH, WALL SCONCE LIGHT
ELT-B	BEGA S9924 LED SCOFF DOWNLIGHT, WEATHER/RESIST SEALED, 8.7W
ELT-C	BEGA 77176, 31.7W BLACK 3.6m POLE HEIGHT.
ELT-D	BEGA 99852, 6W, BLACK BOLLARD LIGHT ON 900mm HIGH POST.
ELT-E	BEGA 77124, 16.8W, BLACK, 1.8m POLE HEIGHT.
ELT-F	BEGA 31075, 22W, BLACK WALL SCONCE LIGHT
ELT-G	BEGA 33361, 16.5W, BLACK WALL WASHER ASSTM.
ELT-H	BEGA 44009, 1.9W, BLACK WALL SCONCE LIGHT
ELT-J	LED FLOOD LIGHT, WALL MOUNTED, BEAM TO FOCUS ON SERVICING AREA ONLY
ELT-K	RECESS LED STAIR LIGHT, CONC. WALL MOUNTED, BEAM TO FOCUS ON STAIR TREAD
ELT-L	LED FLOOD LIGHT/UP LIGHTING, MOUNTED AT GROUND, BEAM TO FOCUS ON FEATURE
ELT-M	WALL MOUNTED GFCI ELEC. RECEPTACLE

#	DATE	DESCRIPTION	INIT
4.	28/06/23	SITE PLAN CONTROL COMMENTS	KB
3.	24/05/23	CLIENT REVIEW/ STRUCT. CO-ORD.	KB
2.	24/02/23	FOR REVIEW	KB
1.	23/01/23	FOR CONSULTANT CO-ORD	KB

#	DATE	DESCRIPTION	INIT
1.	23/01/23	FOR CONSULTANT CO-ORD	KB

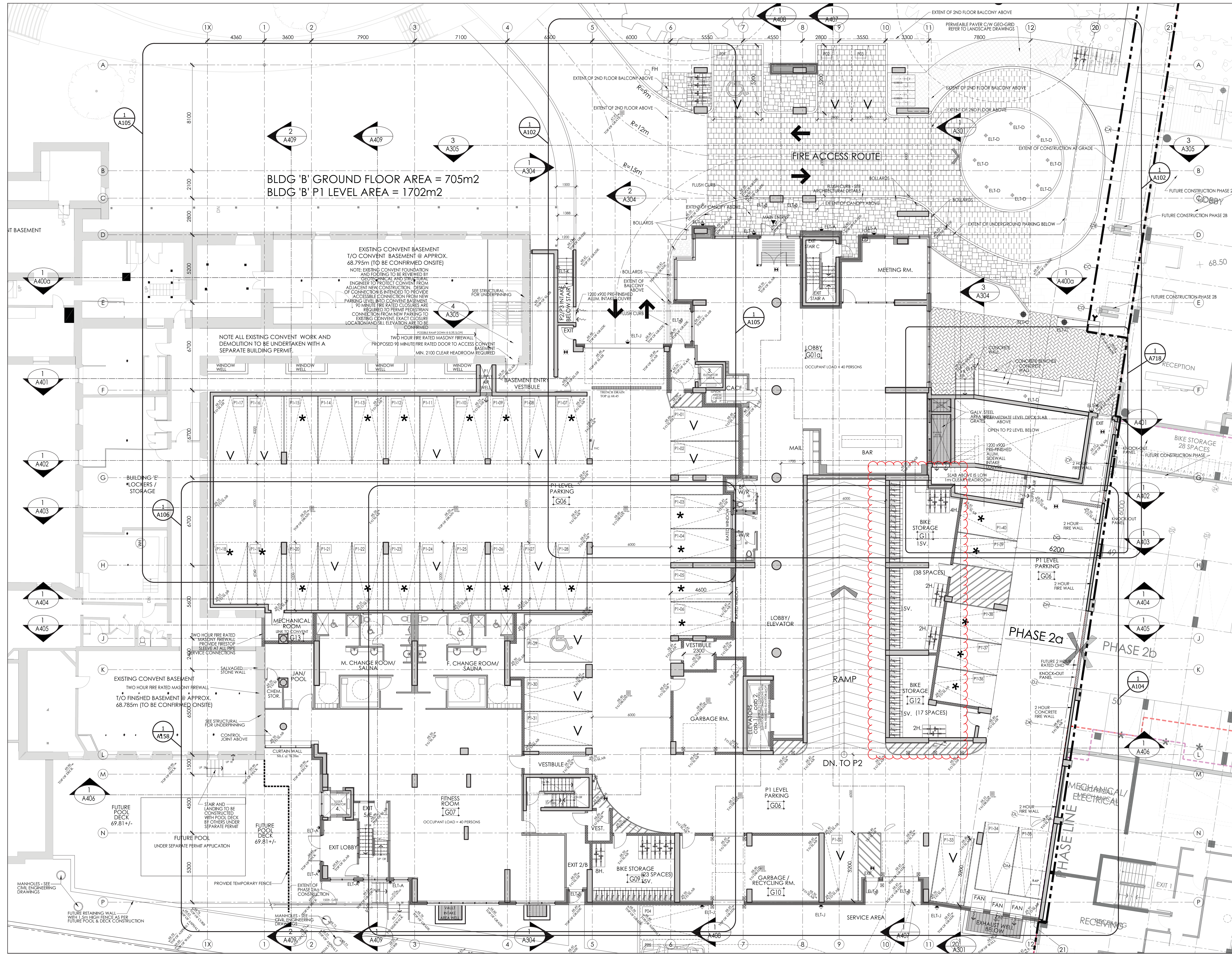
ARCHITECT'S SEAL:	CONSTRUCTION NORTH	A - DETAIL NUMBER
		B - SHEET NUMBER (DETAIL REQUIRED)
		C - SHEET NUMBER (DETAIL LOCATION)

PROJECT: **Q WEST BUILDING 'B'**
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO

CLIENT: **ASHCROFT**

DRAWING TITLE: **P1/ GROUND FLR. PLAN**

DATE: NOV 2022	SCALE: 1:125	SHEET NO: A100
DRAWN BY: KB	CHECKED: MDB	REV. 04



BLDG 'B' GROUND FLOOR AREA = 705m2
BLDG 'B' P1 LEVEL AREA = 1702m2

EXISTING CONVENT BASEMENT
T/O CONVENT BASEMENT @ APPROX.
68.795m (TO BE CONFIRMED ONSITE)

NOTE ALL EXISTING CONVENT WORK AND
DEMOLITION TO BE UNDERTAKEN WITH A
SEPARATE BUILDING PERMIT.

NOTE: EXISTING CONVENT FOUNDATION
AND FOOTING TO BE REVIEWED BY
GEOTECHNICAL AND STRUCTURAL
ENGINEER TO PROTECT CONVENT FROM
ADJACENT NEW CONSTRUCTION. DESIGN
OF CONNECTION IS INTENDED TO PROVIDE
ACCESSIBLE CONNECTION FROM NEW
PARKING LEVEL INTO CONVENT BASEMENT.
90 MINUTE FIRE RATED CLOSURES ARE
REQUIRED TO PERMIT PEDESTRIAN
CONNECTION FROM NEW PARKING TO
EXISTING CONVENT. EXACT CLOSURE
LOCATION AND SILL ELEVATION ARE TO BE
CONFIRMED.

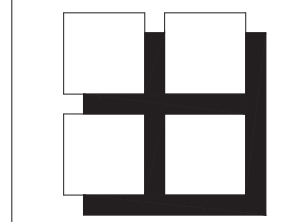
EXISTING CONVENT BASEMENT
T/O FINISHED BASEMENT @ APPROX.
68.785m (TO BE CONFIRMED ONSITE)

EXISTING CONVENT BASEMENT
T/O FINISHED BASEMENT @ APPROX.
68.785m (TO BE CONFIRMED ONSITE)

FUTURE POOL DECK
69.81+/-

FUTURE POOL DECK
69.81+/-

FUTURE POOL DECK
69.81+/-



**M. David Blakely
Architect Inc.**

2200 Prince of Wales Dr. Suite 101 Ottawa, Ontario
Phone (613) 226-8811 Fax (613) 226-7942 K2E 6Z9

GENERAL NOTES:

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3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS
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REFER TO DRAWING
A103 FOR REFLECTED
CEILING PLAN

PARKING LEGEND

* COMPACT CAR
= REDUCED SPACE
MIN. 2.4m X 4.6m

- P1 GARAGE LEVEL**
40 PARKING SPACES TOTAL
23 REDUCED SPACE
- P2 GARAGE LEVEL**
64 PARKING SPACES TOTAL
28 REDUCED SPACE
- P3 GARAGE LEVEL**
56 PARKING SPACES TOTAL
24 REDUCED SPACE
- BLDG 'B'**
PARKING GARAGE TOTAL
160 PARKING SPACES TOTAL
75 REDUCED SPACES = 47%

#	DATE	DESCRIPTION	INIT
4.	28/06/23	SITE PLAN CONTROL COMMENTS	KB
3.	24/05/23	CLIENT REVIEW/ STRUCT. CO-ORD.	KB
2.	24/02/23	FOR REVIEW	KB
1.	23/01/23	FOR REVIEW	KB

ARCHITECT'S SEAL:



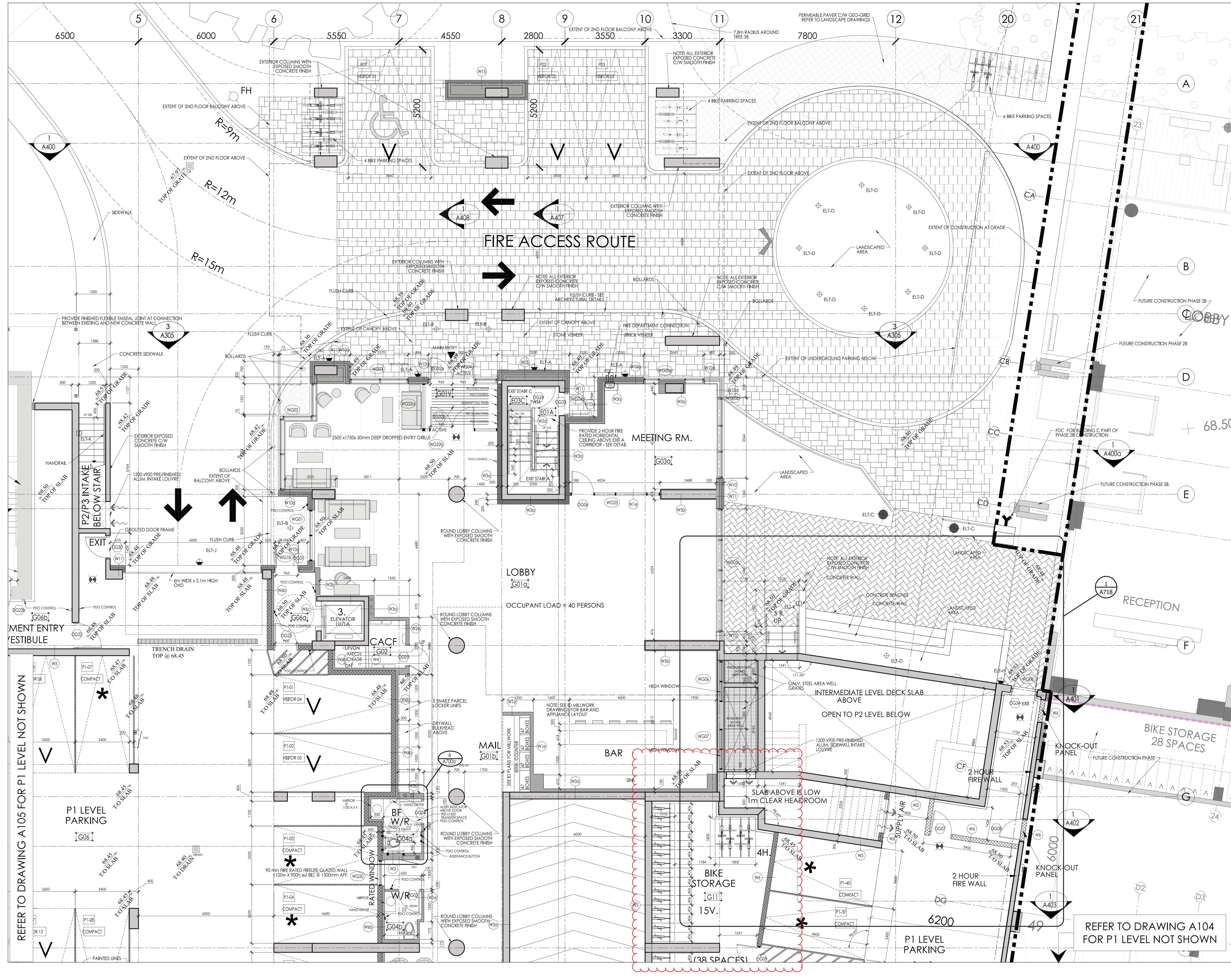
	CONSTRUCTION NORTH	A	A - DETAIL NUMBER
B	B - SHEET NUMBER (DETAIL REQUIRED)	C	C - SHEET NUMBER (DETAIL LOCATION)

PROJECT: **Q WEST BUILDING 'B'**
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO

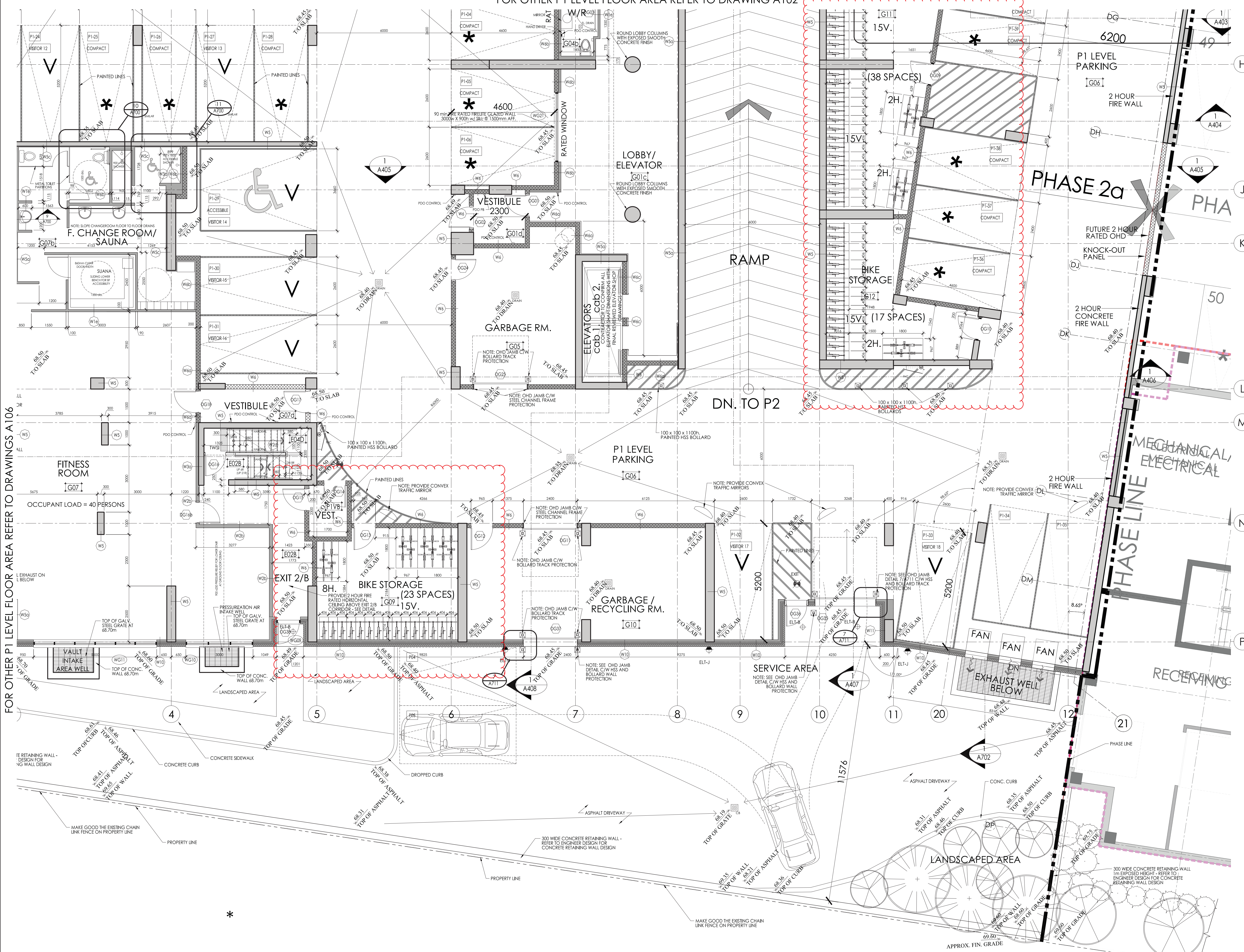


DRAWING TITLE: **PART OF P1 GROUND FLOOR LEVEL ENLARGED PLAN**

DATE: NOV 2022	SCALE: 1:75	SHEET No. A102
DRAWN BY: KB	CHECKED: MDB	REV. 03



FOR OTHER P1 LEVEL FLOOR AREA REFER TO DRAWING A102



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PARKING LEGEND

* = COMPACT CAR REDUCED SPACE MIN. 2.4m X 4.6m

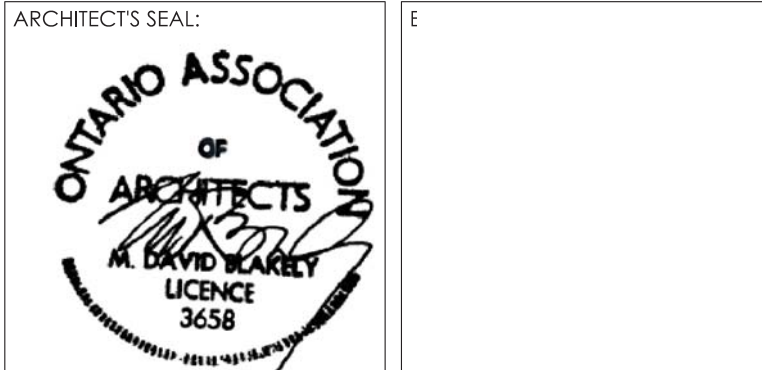
P1 GARAGE LEVEL
 40 PARKING SPACES TOTAL
 23 REDUCED SPACE

P2 GARAGE LEVEL
 64 PARKING SPACES TOTAL
 28 REDUCED SPACE

P3 GARAGE LEVEL
 56 PARKING SPACES TOTAL
 24 REDUCED SPACE

BLDG 'B' PARKING GARAGE TOTAL
 160 PARKING SPACES TOTAL
 75 REDUCED SPACES = 47%

#	DATE	DESCRIPTION	INIT
4.	28/06/23	SITE PLAN CONTROL COMMENTS	KB
3.	24/05/23	CLIENT REVIEW/ STRUCT. CO-ORD.	KB
2.	24/02/23	FOR REVIEW	KB
1.	23/01/23	FOR REVIEW	KB



PROJECT: **Q WEST BUILDING 'B' 9 STOREY APARTMENT BUILDING OTTAWA, ONTARIO**

CLIENT: **ASHCROFT**

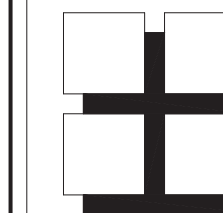
DRAWING TITLE: **PART OF P1 GROUND FLOOR LEVEL ENLARGED PLAN**

DATE: NOV 2022 SCALE: 1 : 75 SHEET NO: **A104**

DRAWN BY: KB CHECKED: MDB REV. 04

FOR OTHER P1 LEVEL FLOOR AREA REFER TO DRAWINGS A106

*



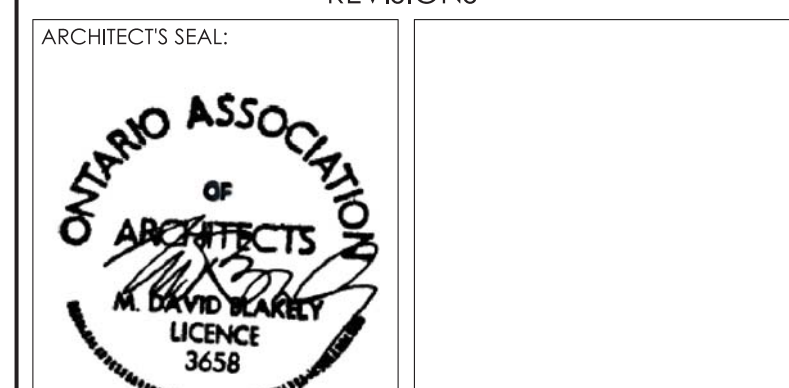
**M. David Blakely
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3.	24/05/23	CLIENT REVIEW/ STRUCT. CO-ORD. KB	
2.	24/02/23	FOR REVIEW KB	
1.	23/01/23	FOR CONSULTANT CO-ORD KB	
#	DATE	DESCRIPTION	INIT
REVISIONS			

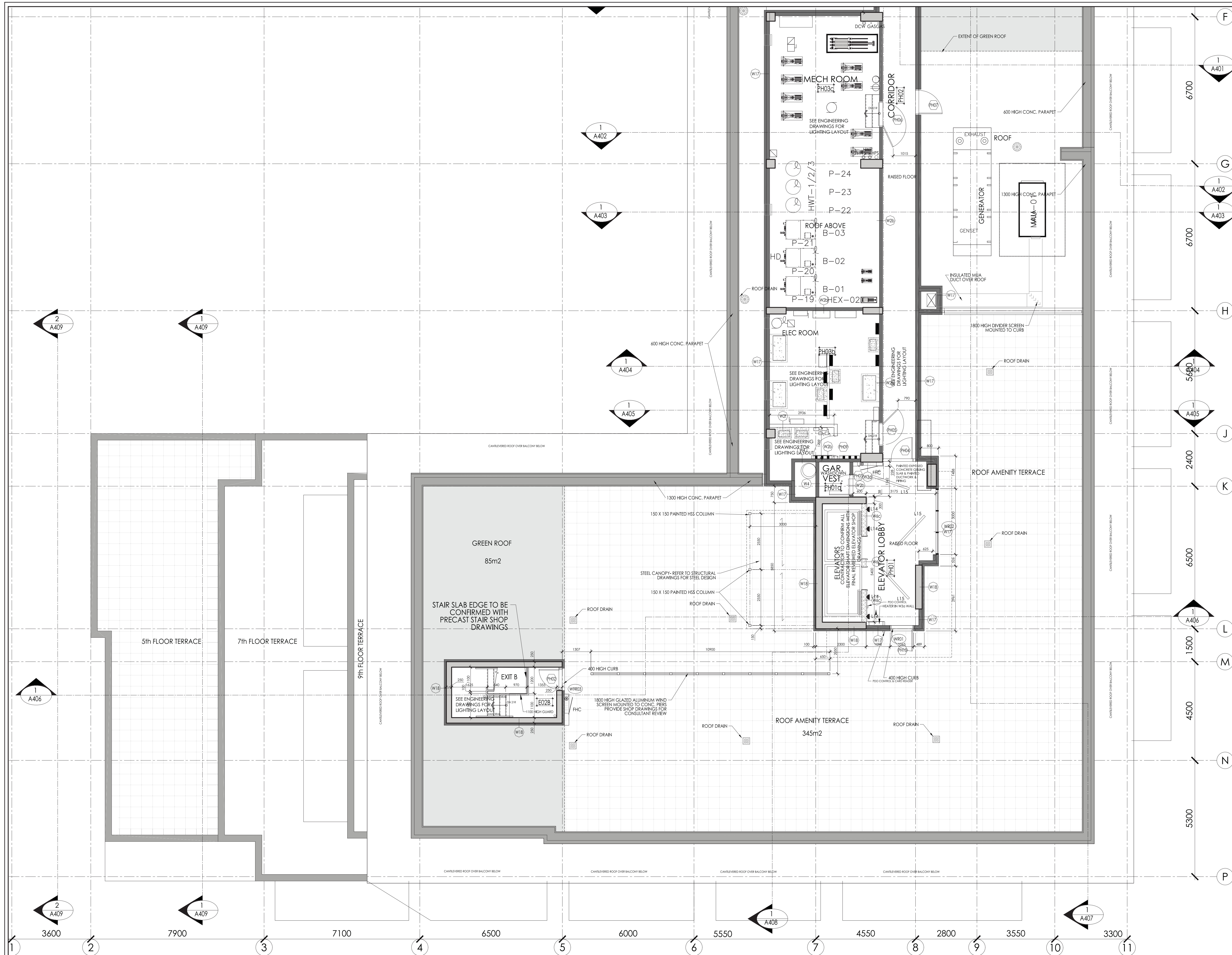


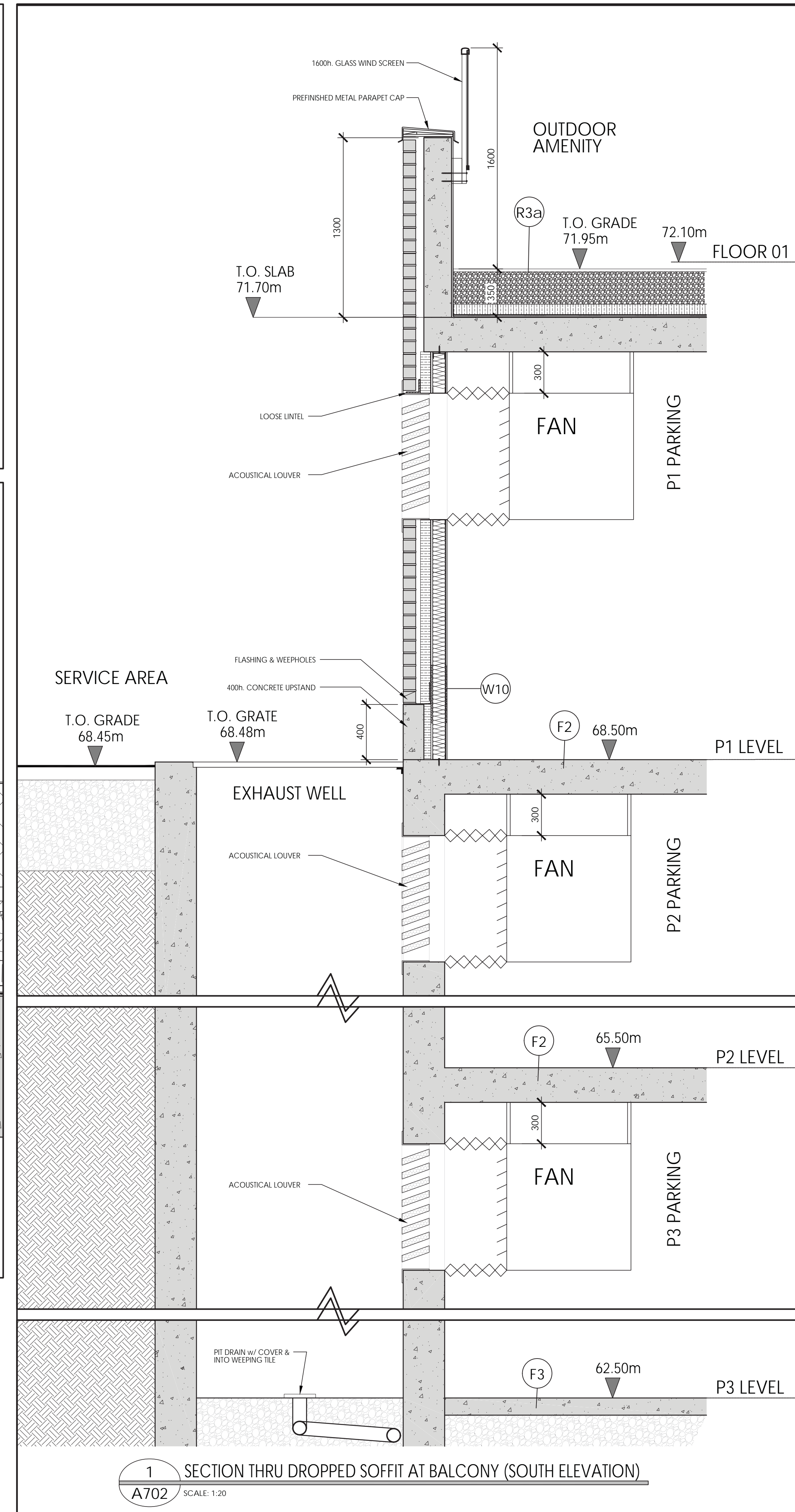
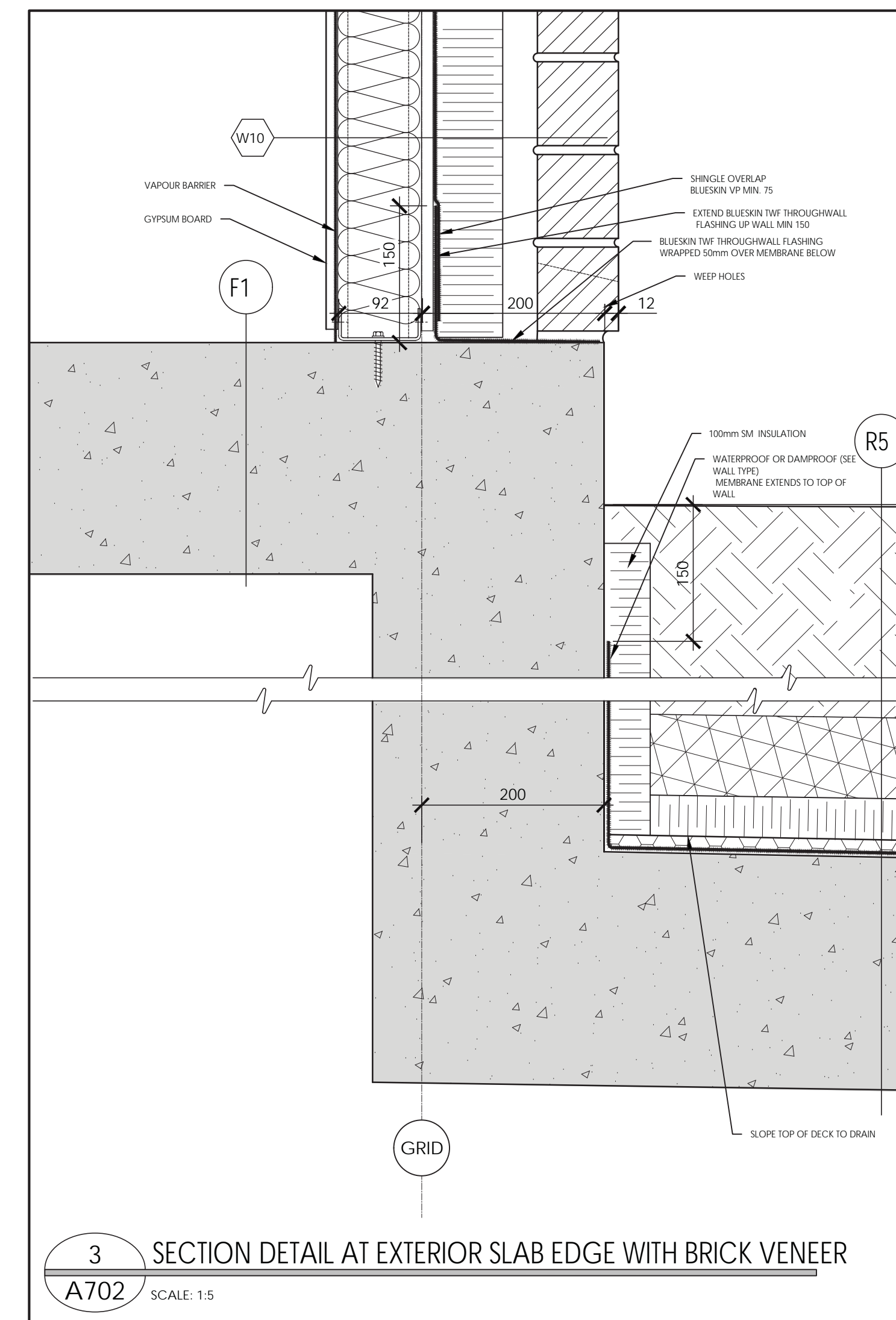
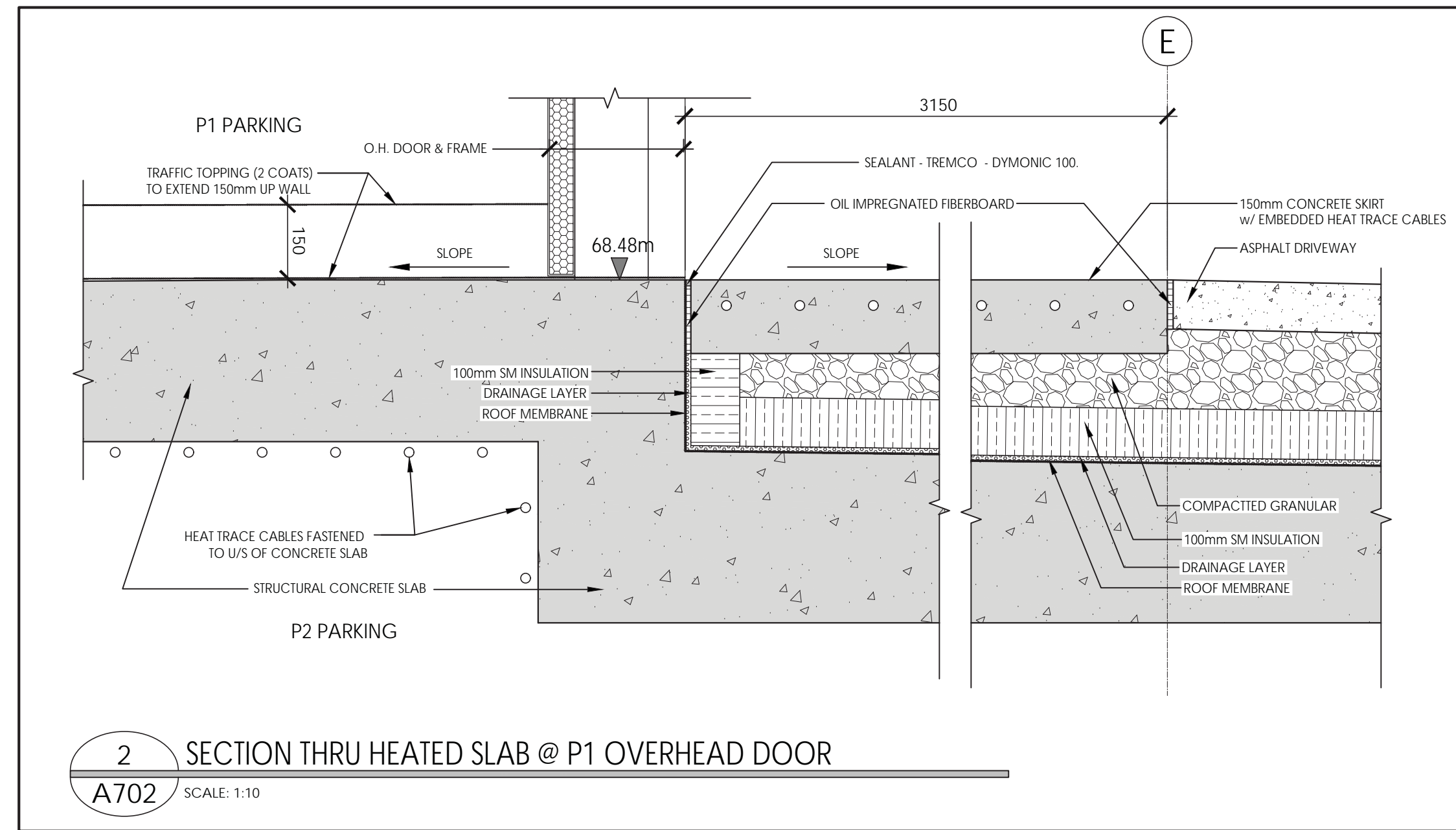
PROJECT: **Q WEST BUILDING 'B'**
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO

CLIENT: **ASHCROFT**

DRAWING TITLE: **ROOF LEVEL ENLARGED PLANS**

DATE: NOV 2022	SCALE: 1:75	SHEET No. A198
DRAWN BY: KB	CHECKED: MDB	REV. 03





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2.	24/05/23	CLIENT REVIEW/ STRUCT. CO-ORD.	JB
1.	21/02/23	FOR REVIEW	JB
#	DATE	DESCRIPTION	INIT

ARCHITECTS SEAL:

A	A - DETAIL NUMBER
B	B - SHEET NUMBER (DETAIL REQUIRED)
C	C - SHEET NUMBER (DETAIL LOCATION)

PROJECT: **Q WEST BUILDING 'B'**
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO

CLIENT: **ASHCROFT**

DRAWING TITLE: **FOUNDATION WALL DETAILS**

DATE	SCALE	SHEET No.
FEB. 2023	AS NOTED	A702
DRAWN BY:	CHECKED	REV. 02
KB/JB	MDB	