

# 254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

ISSUED FOR SPC AND REZONING: 2024.08.29

ARCHITECTURAL

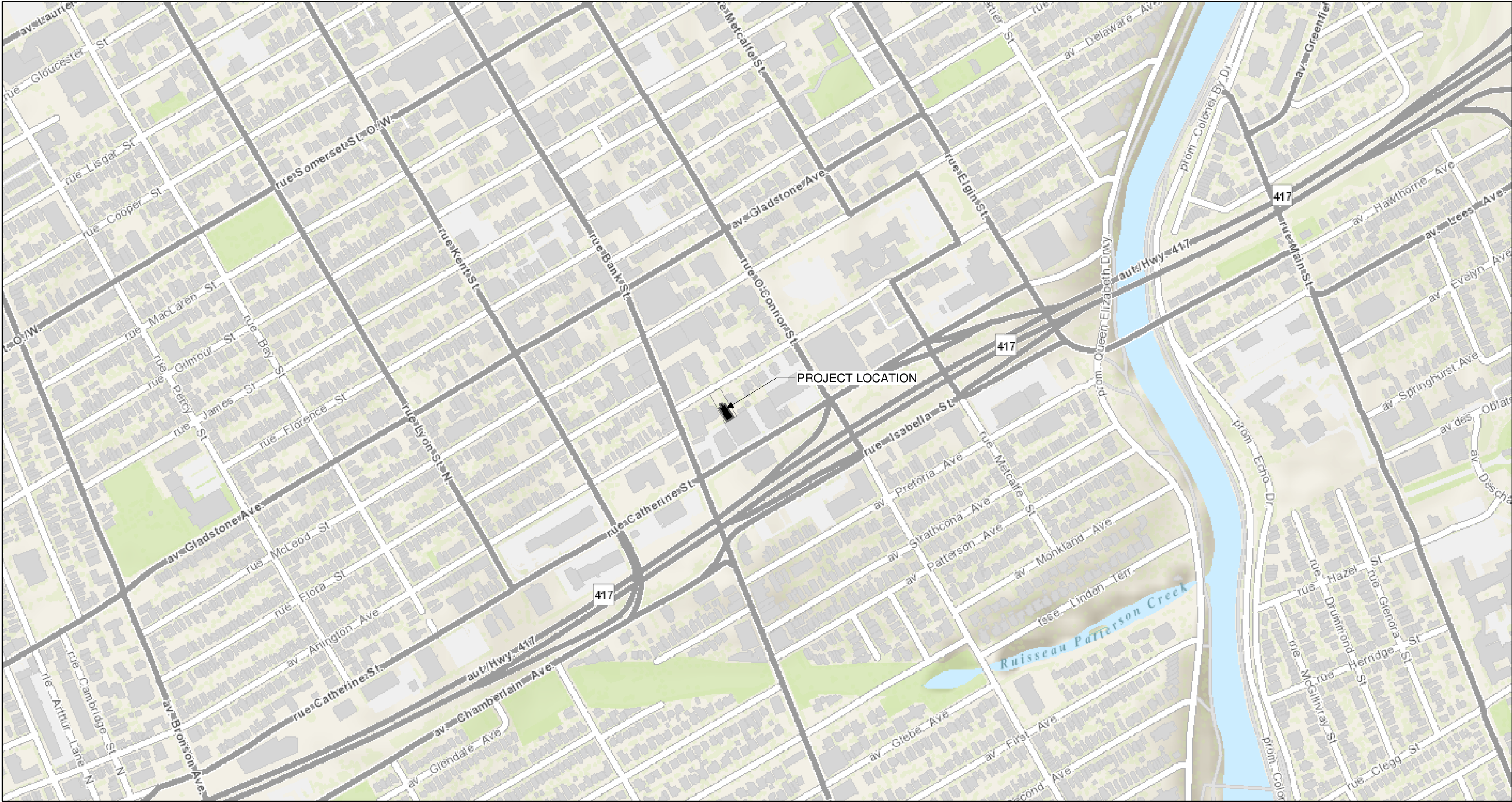
A000	COVER PAGE
D100	DEMOLITION SITE PLAN
A100	SITE PLAN
A200	LEVEL -2 PLAN
A201	LEVEL -1 AND GROUND FLOOR PLANS
A202	LEVEL 1B AND LEVEL 1C PLANS
A203	LEVEL 2-9 FLOOR PLANS
A204	ROOFS & PENTHOUSE PLANS
A300	NORTH & SOUTH ELEVATIONS
A301	EAST ELEVATION
A302	WEST ELEVATION
A400	LONGITUDINAL SECTION

CIVIL

123062-GP	GENERAL PLAN OF SERVICES
123062-GR	GRADING PLAN

LANDSCAPE

123062-TCR1	TREE CONSERVATION PLAN 1
123062-TCR2	TREE CONSERVATION PLAN 2
123062-L	LANDSCAPE PLAN



PROJECT LOCATION PLAN

N.T.S.

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OTTAWA  
ONTARIO, CANADA

PROJECT

## 254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

TITLE

## COVER PAGE

PROJECT NO: 2023-0250  
DRAWN: RR/YC  
APPROVED: DH  
SCALE: As indicated  
DATE PRINTED: 9/3/2024 11:11:07 AM

REV DRAWING NO.

2

A000



DEMOLITION SITE PLAN KEYNOTES:

- 1

EXISTING SIDEWALK TO REMAIN
- 2

EXISTING ASPALT PAVING TO REMAIN
- 3

EXISTING CURB TO REMAIN
- 4

EXISTING SIGN TO REMAIN
- 5

EXISTING LANDSCAPING TO REMAIN.

21

REMOVE AND PRESERVE CHURCH WALLS AND STEEPLE BRICK BY BRICK. REFER TO 254 ARGYLE AVENUE CHURCH RELOCATION OPTIONS ANALYSIS OPTION 3, PREPARED BY REMISZ, DATED MARCH 28, 2024. DEMOLISH REMAINDER OF BUILDING.

22

REMOVE EXISTING LANDSCAPING AT AREA OF WORK

23

REMOVE EXISTING SIDEWALK

24

REMOVE EXISTING ASPHALT DRIVEWAY

25

REMOVE EXISTING CURB

26

REMOVE AND REINSTATE EXISTING ROAD ASSEMBLY AS REQUIRED FOR TRENCHING AND UTILITY SERVICE CONSTRUCTION. CUT PAVING IN STRAIGH LINES. MATCH EXISTING PAVING ASSEMBLY AND ELEVATIONS.

27

TRENCH AS REQUIRED FOR UTILITY SERVICE REMOVAL AND NEW CONSTRUCTION. FILL TRENCHES PER GEOTECHNICAL. MATCH ADJACENT SITE LEVELS AND CONDITIONS

28

REMOVE AND RELOCATE EXISTING FIRE HYDRANT PER CIVIL

DEMOLITION SITE PLAN GENERAL NOTES:

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7. THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
8. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

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OTTAWA  
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PROJECT

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254 Argyle Avenue, Ottawa, Ontario

TITLE

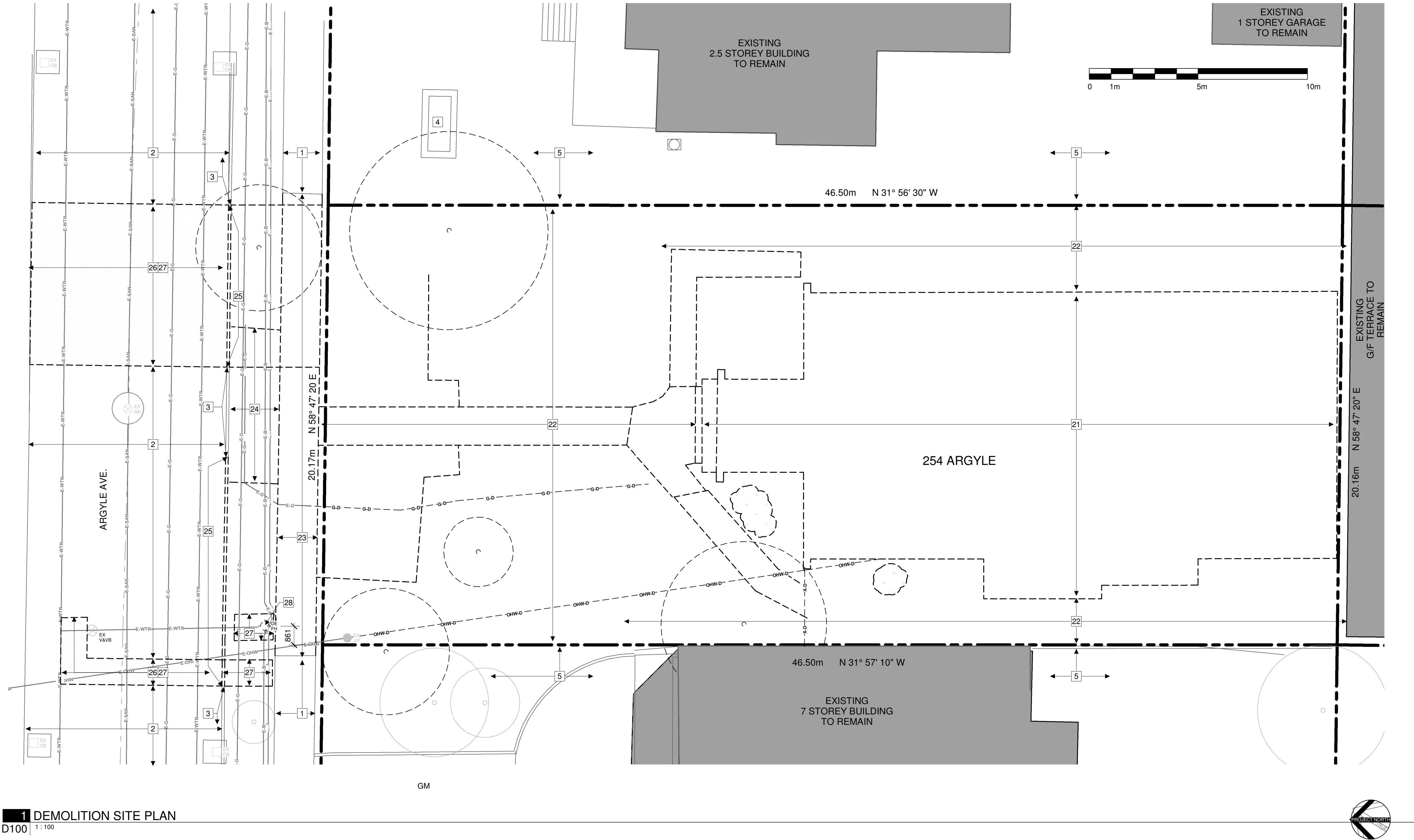
DEMOLITION SITE  
PLAN

PROJECT NO.: 2023-0250  
DRAWN: EF / IK  
APPROVED: DH  
SCALE: As indicated  
DATE PRINTED: 9/3/2024 11:11:10 AM

REV DRAWING NO.

2

D100



1 DEMOLITION SITE PLAN

D100 1:100

LEGAL DESCRIPTION  
LOT 16 (SOUTH ARGYLE AVENUE)  
REGISTERED PLAN 30  
CITY OF OTTAWA

REFERENCE SURVEY  
DRAFT OF TOPOGRAPHIC PLAN OF SURVEY OF  
LOT 16 (SOUTH ARGYLE AVENUE)  
REGISTERED PLAN 30  
CITY OF OTTAWA  
PREPARED BY SURVEYED BY ANNIS, O'SULLIVAN,  
VOLLEBEKK LTD.

MUNICIPAL ADDRESS  
254 ARGYLE AVE. OTTAWA, ON

SITE AREA	937.6m <sup>2</sup>
BUILDING AREA	633.56m <sup>2</sup>
GROSS FLOOR AREA	3,810.12m <sup>2</sup>
BUILDING HEIGHT	35m 9 STOREYS
ZONE:	R5B H(19)
SCHEDULE 1:	AREA B
SCHEDULE 1A:	AREA X

ZONING PROVISION	REQUIRED	PROVIDED
MIN. LOT WIDTH	22.5m	20.17m
MIN. LOT AREA	675m <sup>2</sup>	937.05m <sup>2</sup>
MIN. FRONT YARD SETBACK	3m	1.42m
MIN. REAR YARD SETBACK	7.5m	3.759m
MIN. INTERIOR YARD SETBACK	1.5m (6m past 21m)	1.5m
MAX. HEIGHT	19m	34.5m
AMENITY AREA	504m <sup>2</sup> (6m <sup>2</sup> /unit)	587m <sup>2</sup>
LANDSCAPED AREA	281.12m <sup>2</sup>	270.94m <sup>2</sup>

PARKING QUEUING + LOADING	REQUIRED	PROVIDED
RESIDENTIAL SPACES	42	27
VISITOR SPACES	8	8
ACCESSIBLE PARKING	0	1
BICYCLE PARKING	42 (.5/UNIT)	84



**SITE PLAN KEYNOTES:**

- 1 EXISTING SIDEWALK TO REMAIN
- 2 EXISTING ASPHALT PAVING TO REMAIN
- 3 EXISTING CURB TO REMAIN
- 4 EXISTING SIGN TO REMAIN
- 5 EXISTING LANDSCAPING TO REMAIN.

- 21 RELOCATE EXISTING CHURCH FACADE TO NEW LOCATION
- 22 VENTED CISTERN LID
- 23 NEW CONCRETE SIDEWALK PER CIVIL
- 24 REINSTATE TOP SOIL AND GRASS IN BETWEEN ROAD AND SIDEWALK AT AREAS EFFECTED BY CONSTRUCTION
- 25 NEW CURB PER CIVIL
- 26 REINSTATE EXISTING ROAD ASSEMBLY PER CIVIL AT AREAS EFFECTED BY DEMOLITION AND CONSTRUCTIONS. PROVIDE SMOOTH TRANSITION TO EXISTING PAVING.
- 27 BACKFILL TRENCHES AS REQUIRED PER CIVIL AND GEOTECHNICAL.
- 28 RELOCATE EXISTING FIRE HYDRANT PER CIVIL.
- 29 NEW DRIVEWAY PER CIVIL
- 30 NEW CURB WALL PER CIVIL
- 31 OVERHEAD DOOR TO UNDERGROUND PARKING

- 32 WOOD PRIVACY FENCE PER LANDSCAPING
- 33 TERMINATE WOOD PRIVACY FENCE FLUSH TO THE RETAINING WALL PER LANDSCAPING
- 34 PEDESTRIAN GATE
- 35 WALKWAY PER LANDSCAPING
- 36 PATIO PER LANDSCAPING
- 37 PLANTS PER LANDSCAPING
- 38 VAULT
- 39 RAISED PLANTER WALL PER LANDSCAPING

**SITE PLAN GENERAL NOTES:**

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**SITE PLAN LEGEND:**

- EX EXISTING BUILDING & SITE ELEMENTS
- NEW BUILDING
- NEW ASPHALT PAVING
- NEW GRASS
- NEW PLANTING BEDS / PLANTS PER LANDSCAPING
- NEW CONCRETE SIDEWALK
- NEW CONCRETE PAD
- NEW RIVER STONE PER LANDSCAPING
- NEW PAVER PER LANDSCAPING
- PROPERTY LINE
- SET BACK LINE
- EXTENT OF PARKING BELOW GRADE
- NEW FENCE PER LANDSCAPE
- EXISTING WATER MAIN TO REMAIN
- NEW WATER MAIN PER CIVIL
- EXISTING SANITARY SEWAGE TO REMAIN
- NEW SANITARY SEWAGE PER CIVIL
- EXISTING STORM SEWAGE TO REMAIN
- NEW STORM SEWAGE PER CIVIL
- EXISTING ELECTRICAL OVERHEAD SERVICE TO REMAIN
- NEW ELECTRICAL OVERHEAD SERVICE PER ELECTRICAL
- EXISTING GAS LINE TO REMAIN
- NEW GAS LINE PER CIVIL
- EXISTING BELL LINE TO REMAIN
- EXISTING ROGER LINE TO REMAIN
- ENTRANCE/ BARRIER-FREE ENTRANCE
- MAIN ENTRANCE
- VEHICLE ACCESS
- NEW AREA DRAIN PER CIVIL
- CATCH BASIN: EXISTING TO REMAIN / NEW PER CIVIL
- MAINTENANCE HOLE: EXISTING TO REMAIN / NEW PER CIVIL
- UTILITY POLE: EXISTING TO REMAIN / NEW PER CIVIL
- VALVE AND VALVE BOX : EXISTING TO REMAIN / NEW PER CIVIL
- LIGHT STANDARD
- NEW FIRE HYDRANT PER CIVIL
- NEW WATER METER PER CIVIL
- NEW REMOTE WATER METER PER CIVIL
- NEW SIAMESE CONNECTION
- NEW DROPPED CURB
- NEW TREE PER LANDSCAPING
- EXISTING TREE TO REMAIN
- SHRUB: EXISTING TO REMAIN / NEW PER LANDSCAPING

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ONTARIO, CANADA

PROJECT

**254 ARGYLE**

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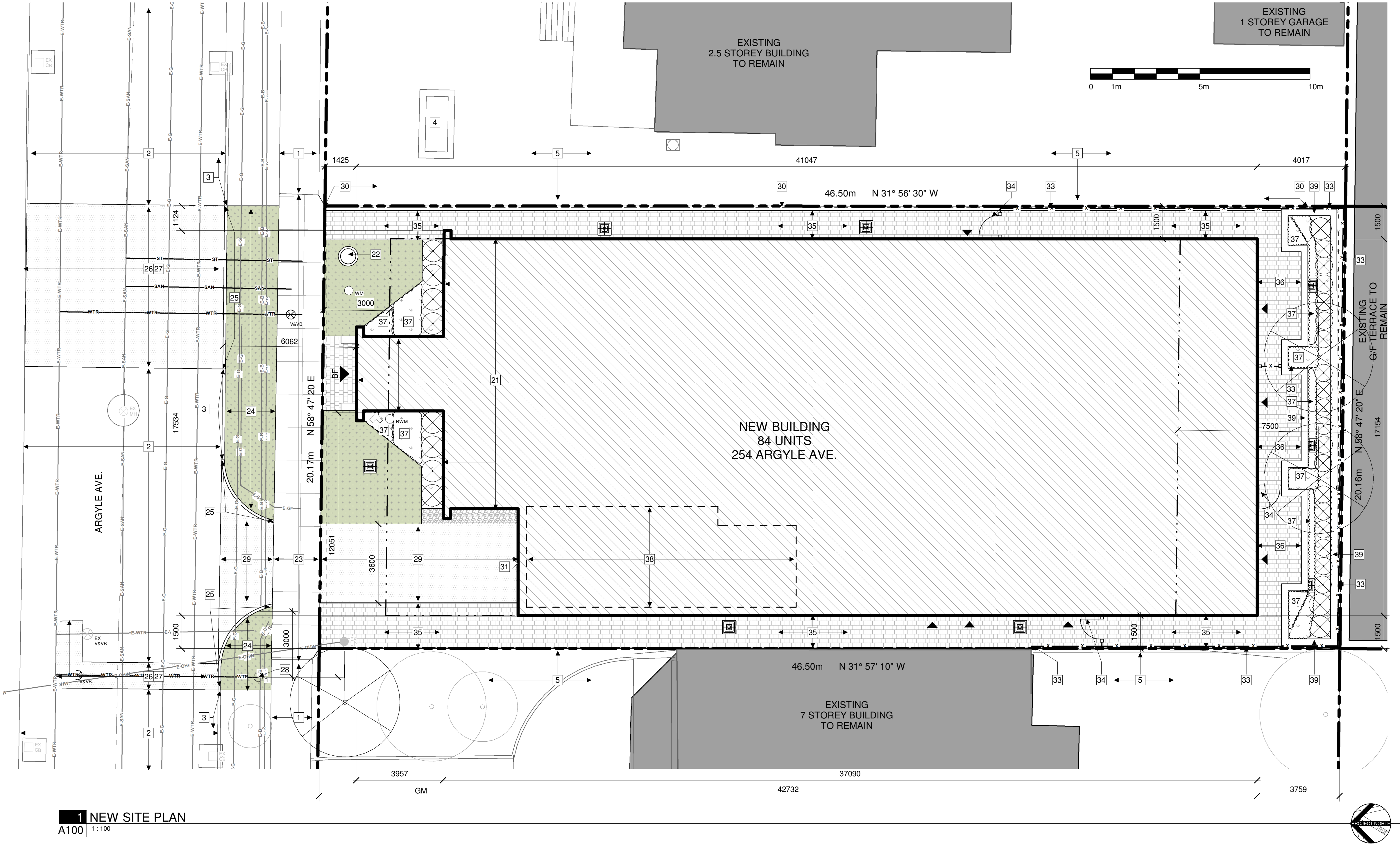
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**SITE PLAN**

PROJECT NO: 2023-0250  
DRAWN: EF / IK  
APPROVED: DH  
SCALE: As indicated  
DATE PRINTED: 9/3/2024 11:11:13 AM

REV DRAWING NO.

2 A100



**1 NEW SITE PLAN**  
A100 1:100

LEGAL DESCRIPTION  
LOT 16 (SOUTH ARGYLE AVENUE)  
REGISTERED PLAN 30  
CITY OF OTTAWA

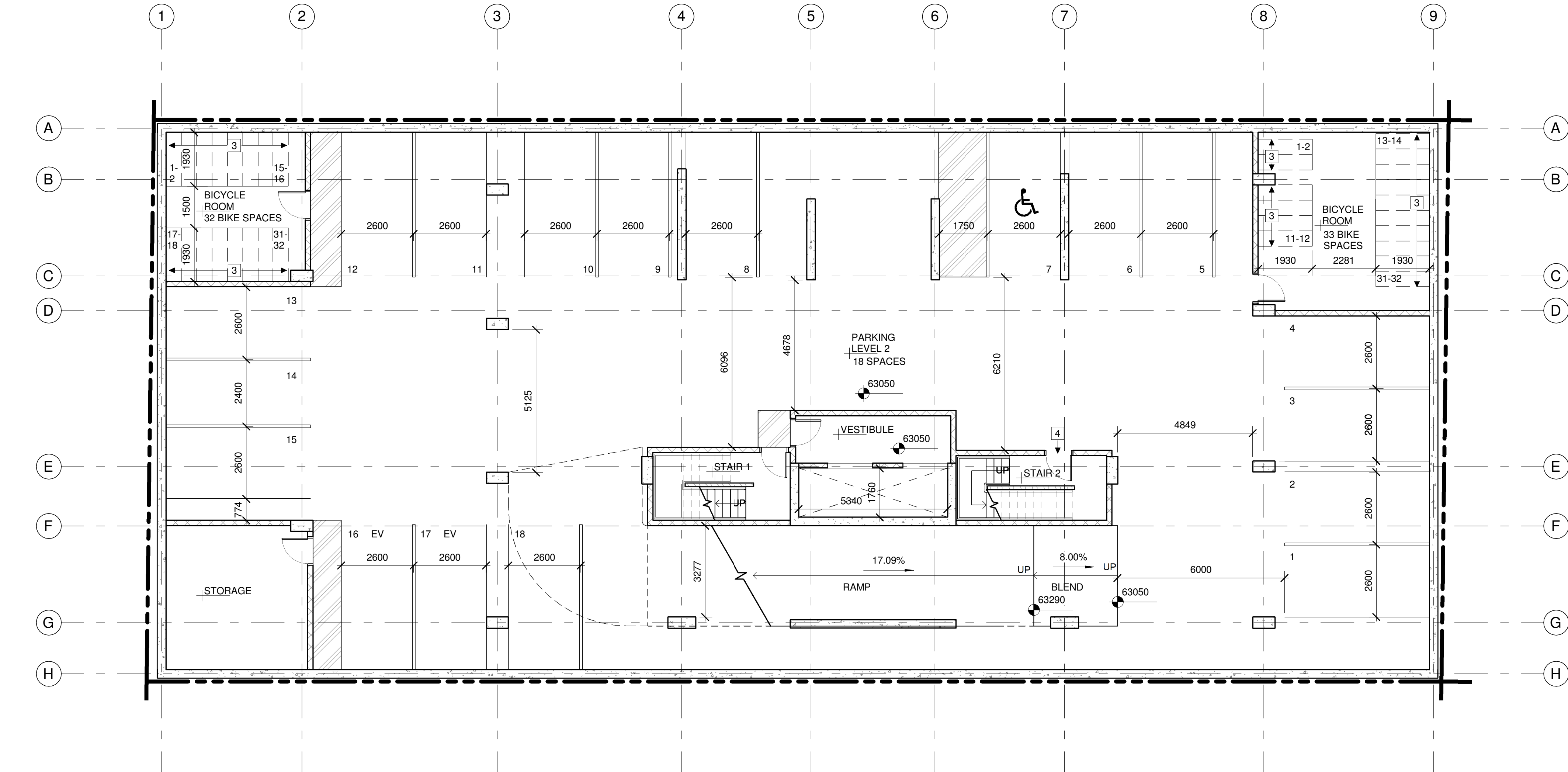
REFERENCE SURVEY  
DRAFT OF TOPOGRAPHIC PLAN OF SURVEY OF  
LOT 16 (SOUTH ARGYLE AVENUE)  
REGISTERED PLAN 30  
CITY OF OTTAWA  
PREPARED BY SURVEYED BY ANNIS, O'SULLIVAN,  
VOLLEBEKK LTD.

MUNICIPAL ADDRESS  
254 ARGYLE AVE. OTTAWA, ON

SITE AREA	937.6m <sup>2</sup>
BUILDING AREA	633.56m <sup>2</sup>
GROSS FLOOR AREA	3,810.12m <sup>2</sup>
BUILDING HEIGHT	35m 9 STOREYS
ZONE:	R5B H(19)
SCHEDULE 1:	AREA B
SCHEDULE 1A:	AREA X

ZONING PROVISION	REQUIRED	PROVIDED	PARKING QUEUING + LOADING	REQUIRED	PROVIDED
MIN. LOT WIDTH	22.5m	20.17m	RESIDENTIAL SPACES	42	27
MIN. LOT AREA	675m <sup>2</sup>	937.05m <sup>2</sup>	VISITOR SPACES	8	8
MIN. FRONT YARD SETBACK	3m	1.42m	ACCESSIBLE PARKING	0	1
MIN. REAR YARD SETBACK	7.5m	3.759m	BICYCLE PARKING	42 (.5/UNIT)	84
MIN. INTERIOR YARD SETBACK	1.5m (6m past 21m)	1.5m			
MAX. HEIGHT	19m	34.5m			
AMENITY AREA	504m <sup>2</sup> (6m <sup>2</sup> /unit)	587m <sup>2</sup>			
LANDSCAPED AREA	281.12m <sup>2</sup>	270.94m <sup>2</sup>			





**1 LEVEL -2 PLAN**  
A200 | 1 : 100

**GENERAL REFERENCE PLAN NOTES:**

- A. DO NOT SCALE DRAWINGS.
- B. DIMENSIONS ARE FOR LOCATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTINGS, COLUMNS AND FOUNDATION WALL SIZES.
- C. REFER TO MECHANICAL + ELECTRICAL DRAWINGS FOR DETAILS OF UNDERGROUND SERVICES.
- D. ALL EXTERIOR FOUNDATION WALLS ARE DIMENSIONED TO EXTERIOR FACE OF ASSEMBLY UNLESS OTHERWISE NOTED.
- E. ALL INTERIOR FOUNDATION WALLS + FOOTINGS ARE DIMENSIONED FROM GRIDLINE TO FACE UNLESS OTHERWISE NOTED.
- F. ALL WINDOWS ARE DIMENSIONED TO CENTERLINE OF WINDOW OPENING, UNLESS OTHERWISE NOTED.
- G. ALL DOORS ARE DIMENSIONED TO CENTERLINE OF DOOR OPENING, INCLUDING SIDELIGHT FRAMING, UNLESS OTHERWISE NOTED.
- H. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE EXTERIOR FINISHED FACE, UNLESS NOTED OTHERWISE.
- I. ALL INTERIOR DIMENSIONS ARE DIMENSIONED FROM INTERIOR FINISHED FACES OF EXTERIOR WALLS, UNLESS OTHERWISE NOTED.
- J. ALL INTERIOR WALLS ARE DIMENSIONED TO CENTERLINE OF PARTITION, UNLESS OTHERWISE NOTED. CONSIDER OFFSET FROM PARTITION CENTERLINE TO STUD FRAMING CENTER BASED ON WALL ASSEMBLY.
- K. ENSURE 25mm MINIMUM THICKNESS OF CONCRETE COVER OVER VERTICAL STEEL REINFORCEMENT TO ALL REINFORCED CONCRETE STRUCTURAL COLUMNS AND WALLS.

**REFERENCE PLAN KEYNOTES:**

- 1 CISTERN OVERFLOW AND HATCH / VENTED CISTERN LID
- 2 EXTENT OF DROPPED SLAB ABOVE
- 3 DOUBLE TEAR BICYCLE STORAGE SPACES
- 4 EXIT ONLY
- 5 EXTENT OF FOUNDATION WALL BELOW

**REFERENCE PLAN LEGEND:**

- NOT IN CONTRACT
- PAINTED PARKING ISLAND

ARCHITECT OF RECORD

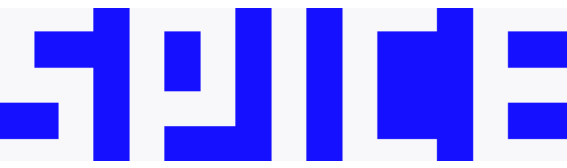
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CLIENT



OTTAWA  
ONTARIO, CANADA

PROJECT

**254 ARGYLE**

254 Argyle Avenue, Ottawa, Ontario

TITLE

**LEVEL -2 PLAN**

PROJECT NO: 2023-0250  
DRAWN: Author  
APPROVED: Approver  
SCALE: 1 : 100  
DATE PRINTED: 9/3/2024 11:11:17 AM

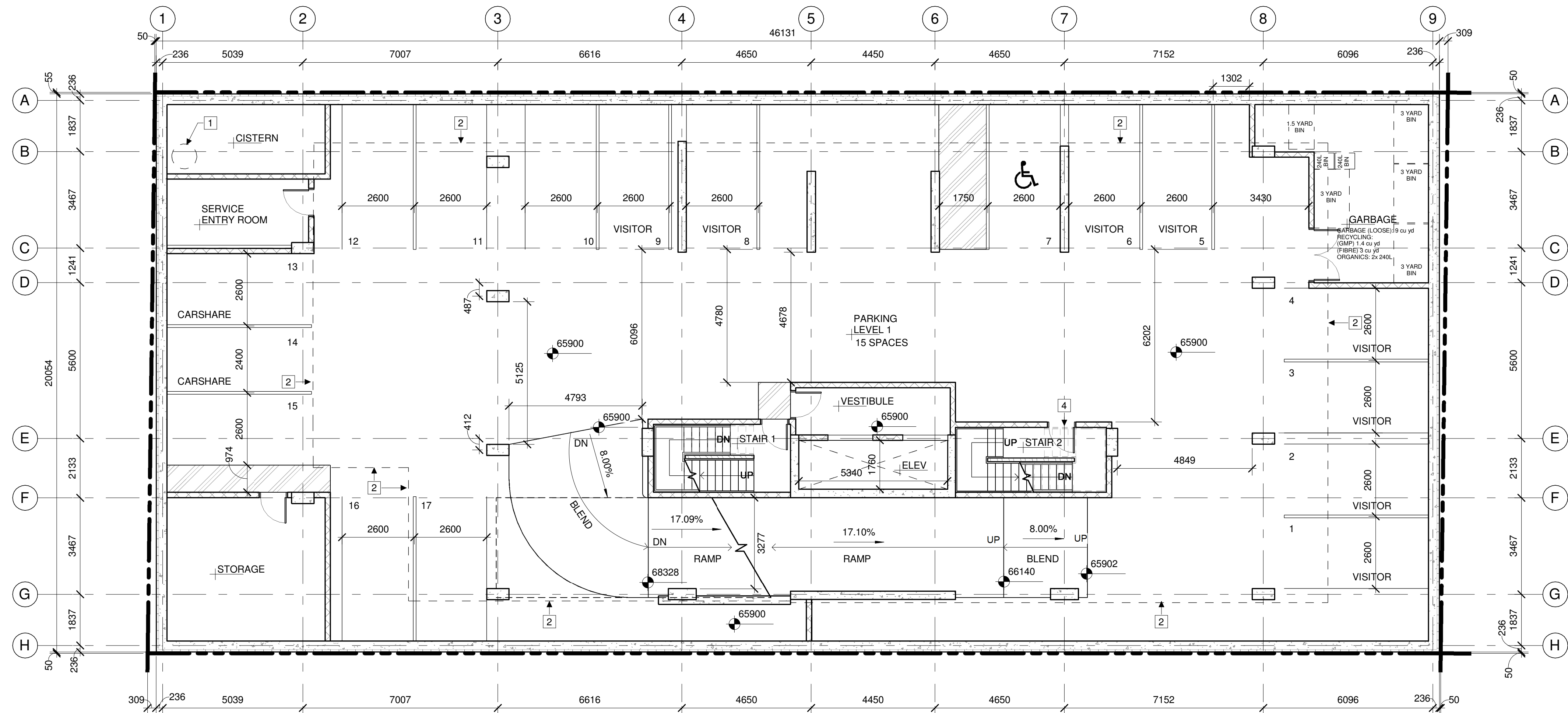
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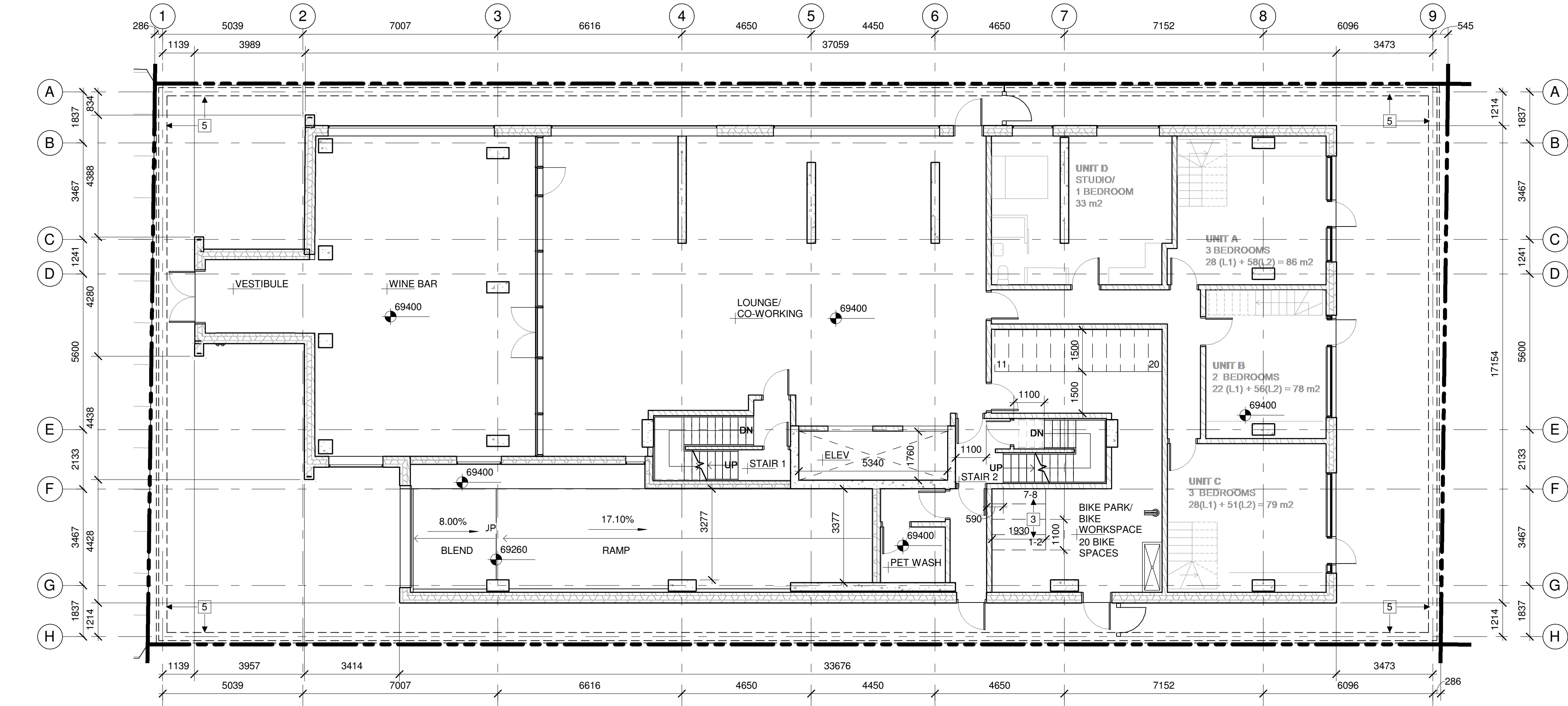
**A200**







**1 LEVEL -1 PLAN**  
A201 1:100



**2 GROUND FLOOR REFERENCE PLAN**  
A201 1:100

**GENERAL REFERENCE PLAN NOTES:**

- DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE FOR LOCATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTINGS, COLUMNS AND FOUNDATION WALL SIZES.
- REFER TO MECHANICAL + ELECTRICAL DRAWINGS FOR DETAILS OF UNDERGROUND SERVICES.
- ALL EXTERIOR FOUNDATION WALLS ARE DIMENSIONED TO EXTERIOR FACE OF ASSEMBLY UNLESS OTHERWISE NOTED.
- ALL INTERIOR FOUNDATION WALLS + FOOTINGS ARE DIMENSIONED FROM GRIDLINE TO FACE UNLESS OTHERWISE NOTED.
- ALL WINDOWS ARE DIMENSIONED TO CENTERLINE OF WINDOW OPENING, UNLESS OTHERWISE NOTED.
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- ENSURE 25mm MINIMUM THICKNESS OF CONCRETE COVER OVER VERTICAL STEEL REINFORCEMENT TO ALL REINFORCED CONCRETE STRUCTURAL COLUMNS AND WALLS.

**REFERENCE PLAN KEYNOTES:**

- CISTERN OVERFLOW AND HATCH / VENTED CISTERN LID
- EXTENT OF DROPPED SLAB ABOVE
- DOUBLE TEAR BICYCLE STORAGE SPACES
- EXIT ONLY
- EXTENT OF FOUNDATION WALL BELOW

**REFERENCE PLAN LEGEND:**

- NOT IN CONTRACT
- PAINTED PARKING ISLAND

ARCHITECT OF RECORD

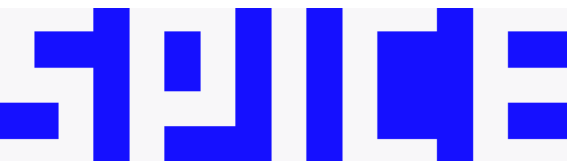
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OTTAWA  
ONTARIO, CANADA

PROJECT

**254 ARGYLE**

254 Argyle Avenue, Ottawa, Ontario

TITLE

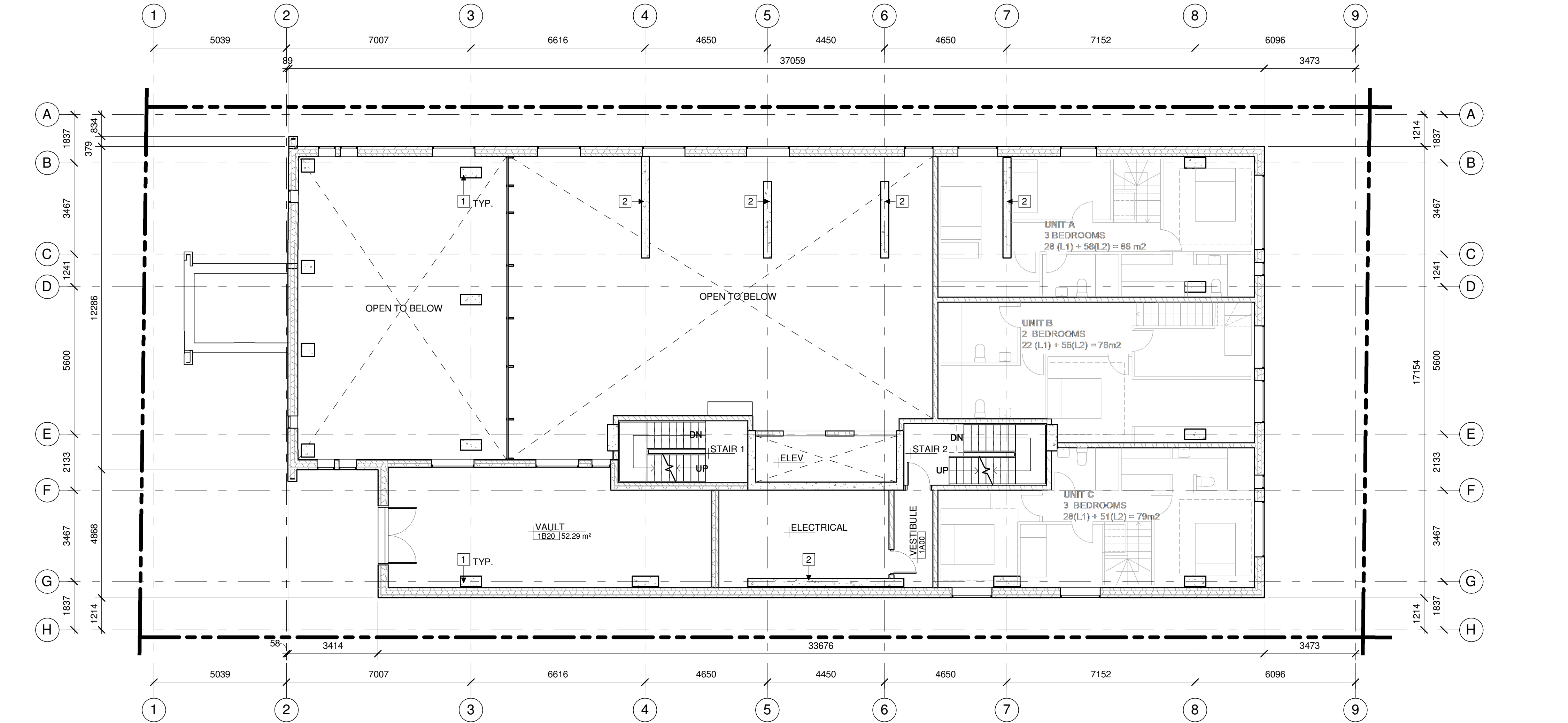
**LEVEL -1 AND  
GROUND FLOOR  
PLANS**

PROJECT NO: 2023-0250  
DRAWN: IK / EF  
APPROVED: DH  
SCALE: 1:100  
DATE PRINTED: 9/3/2024 11:11:21 AM

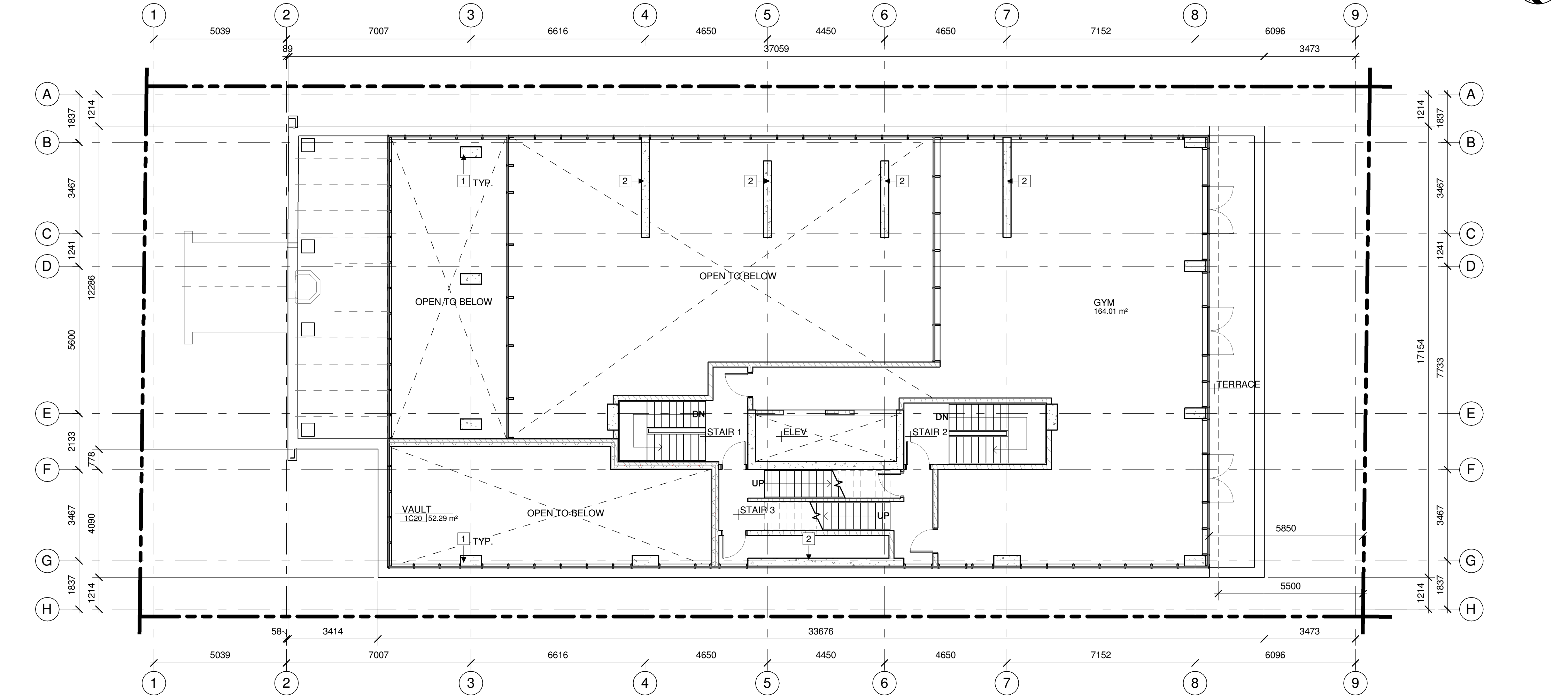
REV DRAWING NO.

2 A201





**1 LEVEL 1B PLAN**  
A202 1:100



**2 LEVEL 1C PLAN**  
A202 1:100


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**REFERENCE PLAN KEYNOTES:**

- COLUMN PER STRUCTURAL
- WALL PER STRUCTURAL

**REFERENCE PLAN LEGEND:**

 NOT IN CONTRACT

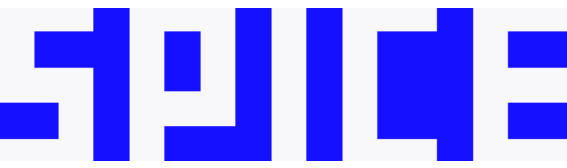
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OTTAWA  
ONTARIO, CANADA

PROJECT

**254 ARGYLE**

254 Argyle Avenue, Ottawa, Ontario

TITLE

**LEVEL 1B AND LEVEL 1C PLANS**

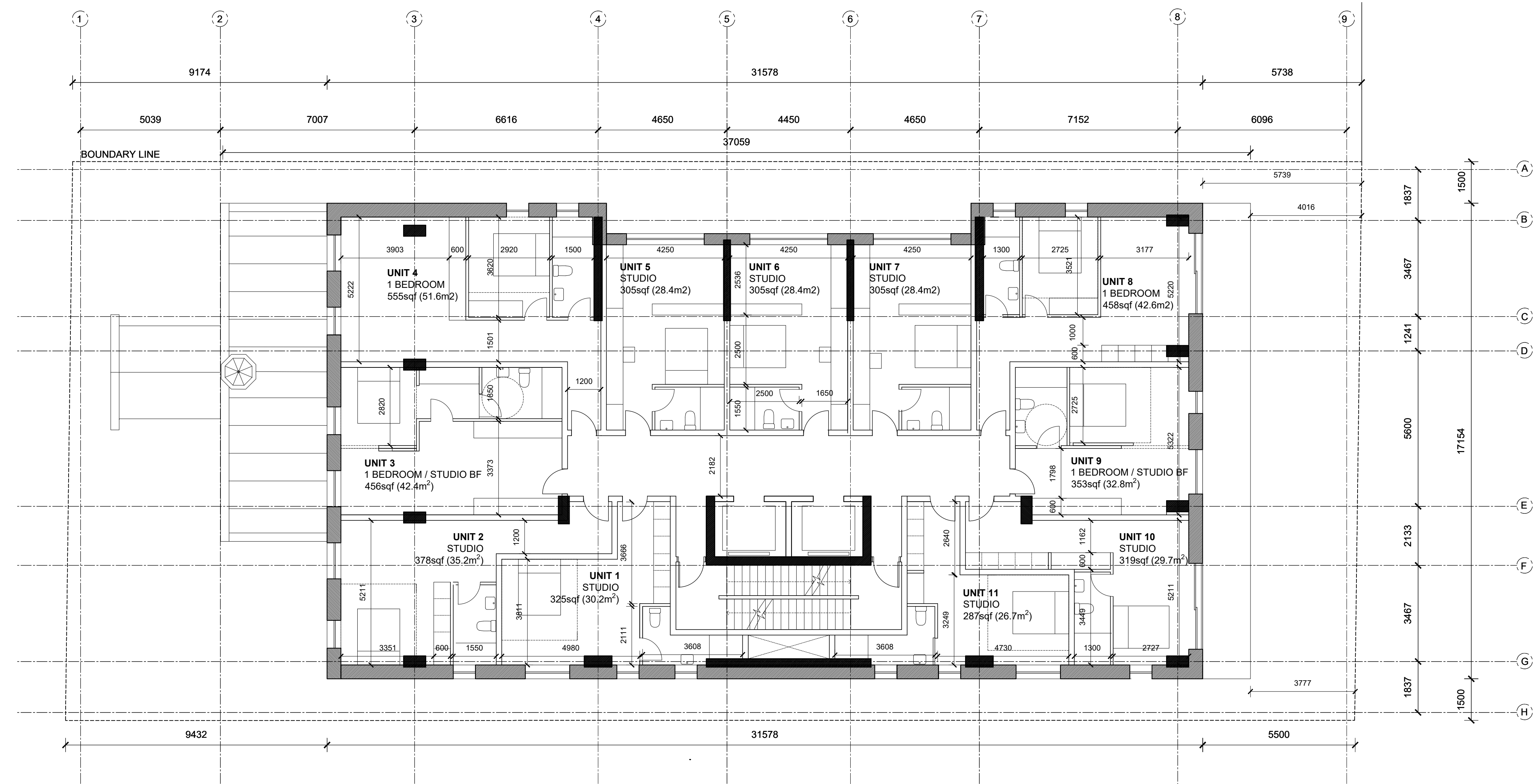
PROJECT NO: 2023-0250  
DRAWN: IK / EF / RK  
APPROVED: DH  
SCALE: 1:100  
DATE PRINTED: 9/3/2024 11:11:26 AM

REV DRAWING NO.

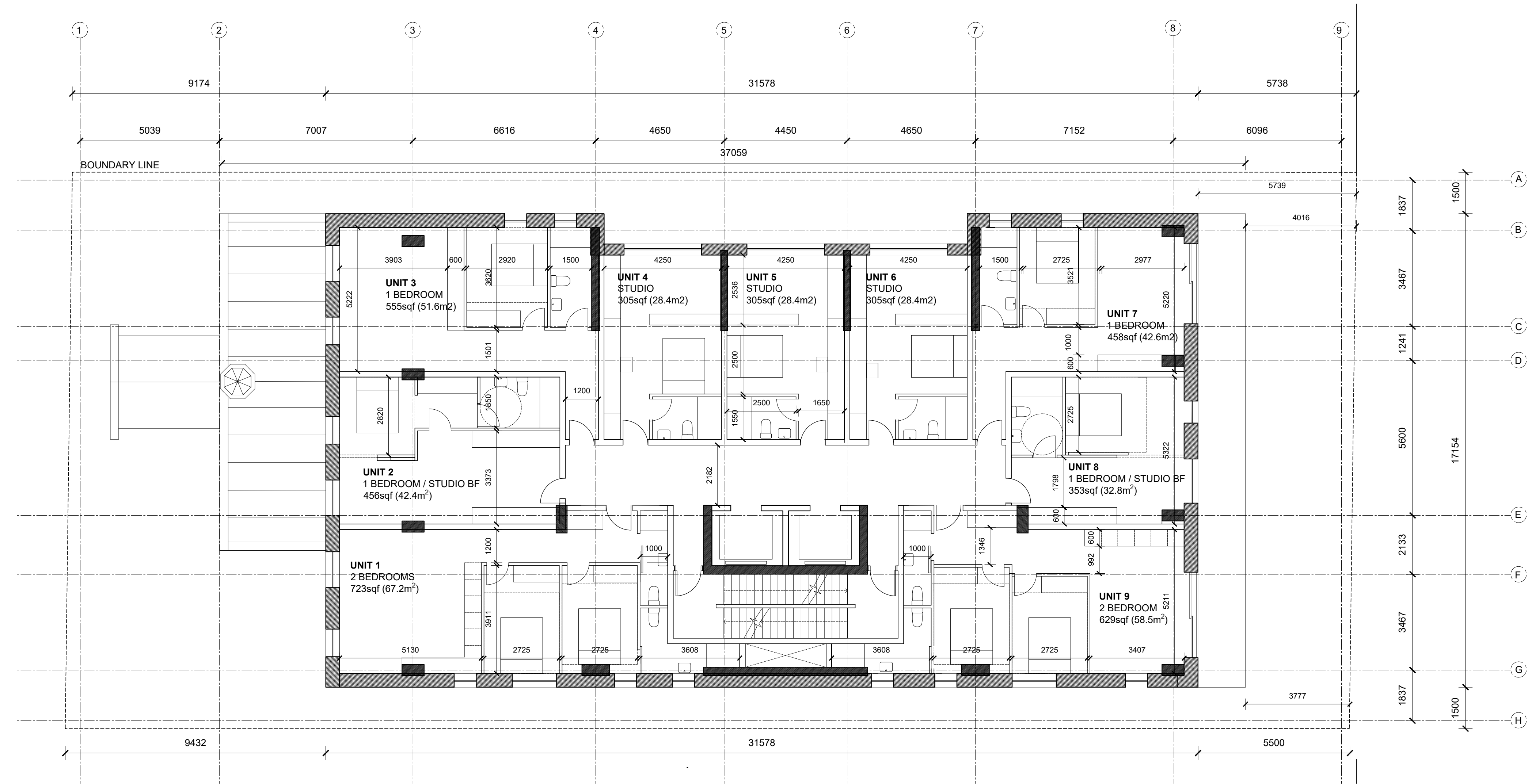
2

**A202**





1 LOWER TYPICAL FLOOR PLAN - LEVELS 2-5  
A203 1:100



2 UPPER TYPICAL FLOOR PLAN - LEVELS 6-9  
A203 1:100

ARCHITECT OF RECORD

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OTTAWA  
ONTARIO, CANADA

PROJECT

**254 ARGYLE**

254 Argyle, Ottawa, Ontario

TITLE

**LEVELS 2-9  
FLOOR PLANS**

PROJECT NO: 2023-0250  
DRAWN: SPICE  
APPROVED: SPICE  
SCALE: 1:100

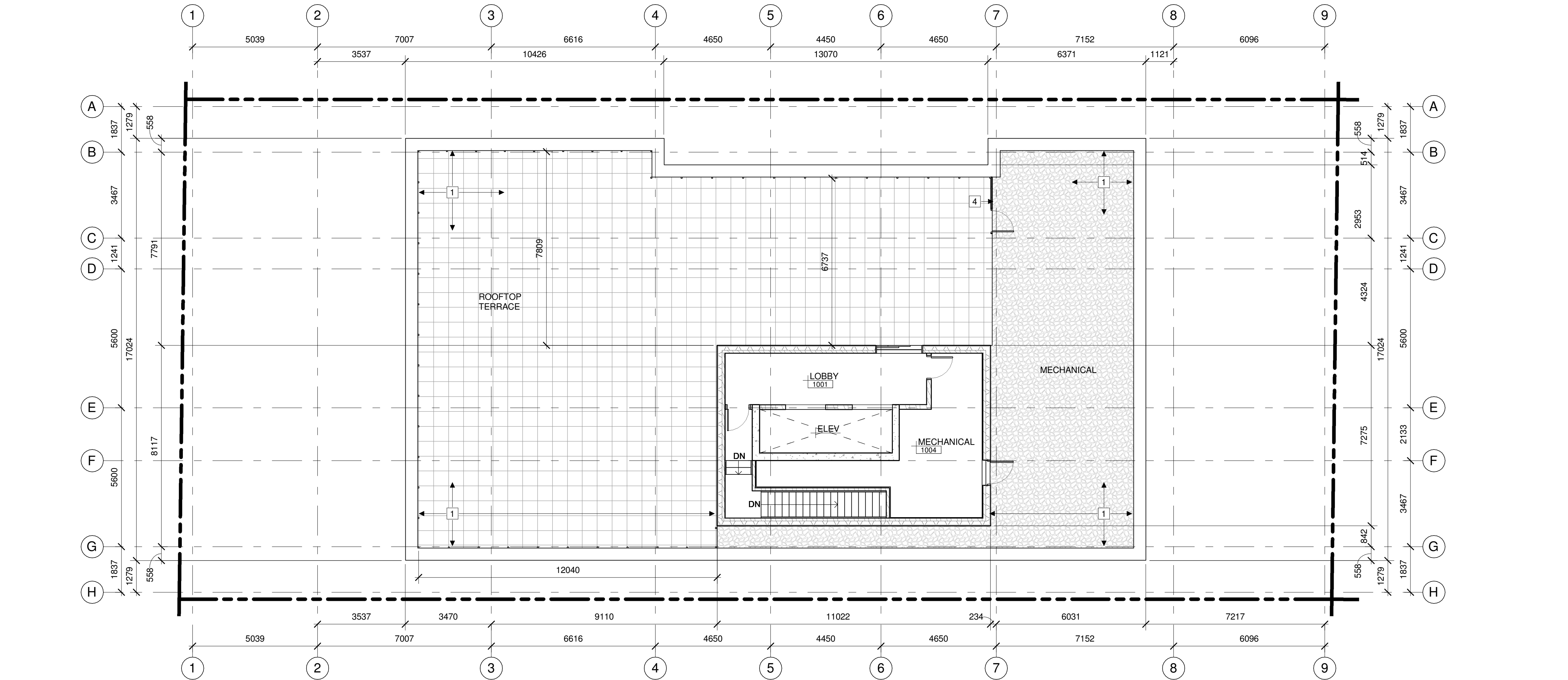
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DRAWING NO.

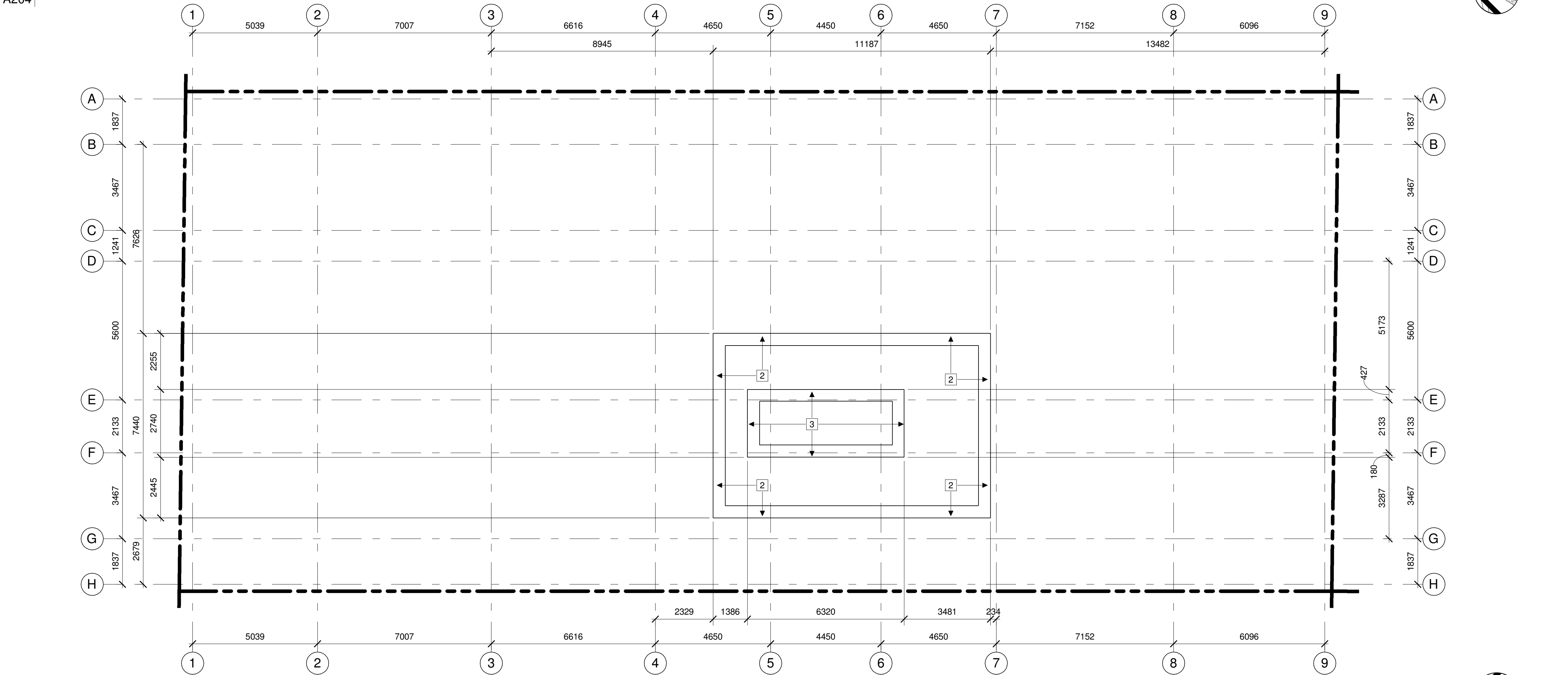
2

**A203**





**1 PENTHOUSE & MAIN ROOF PLAN**  
A204 1:100



**2 UPPER ROOF PLAN**  
A204 1:100


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**REFERENCE PLAN KEYNOTES:**

- LOWER LEVEL ROOF
- UPPER ROOF
- ELVATOR SHAFT ROOF
- ROOF SCREEN AND GATE

**REFERENCE PLAN LEGEND:**

 NOT IN CONTRACT

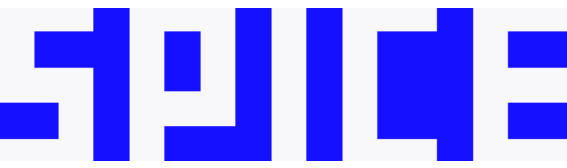
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OTTAWA  
ONTARIO, CANADA

PROJECT

**254 ARGYLE**

254 Argyle Avenue, Ottawa, Ontario

TITLE

**ROOFS & PENTHOUSE  
PLANS**

PROJECT NO: 2023-0250  
DRAWN: IK / EF / RK  
APPROVED: DH  
SCALE: 1:100  
DATE PRINTED: 9/3/2024 11:11:28 AM

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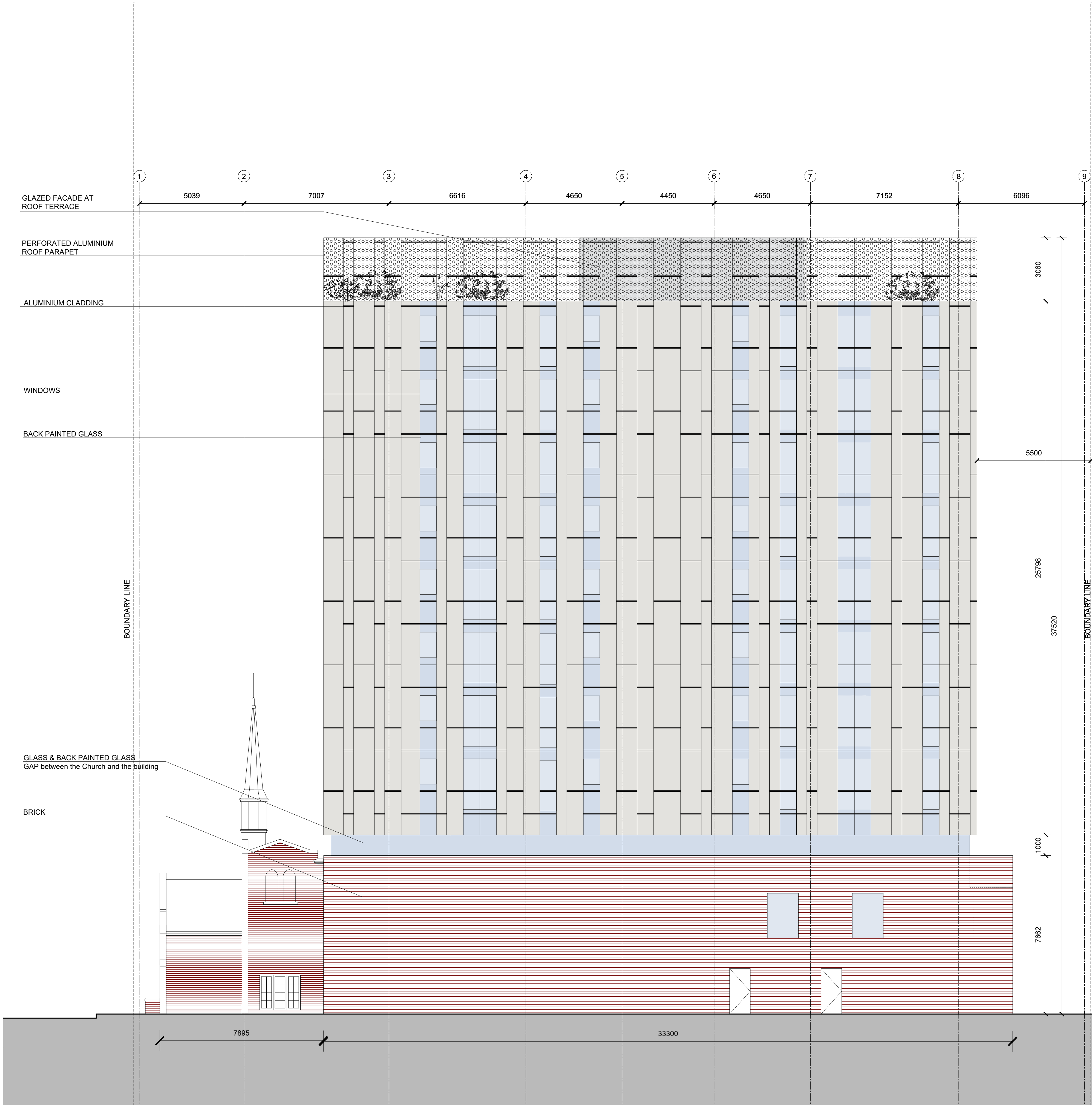












1 WEST ELEVATION  
A203 1:100

ARCHITECT OF RECORD

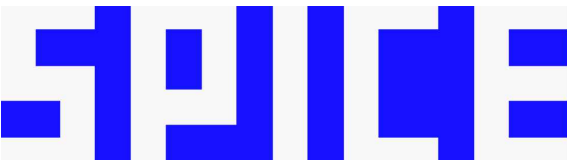
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OTTAWA  
ONTARIO, CANADA

PROJECT

**254 ARGYLE**

254 Argyle, Ottawa, Ontario

TITLE

**WEST ELEVATION**

PROJECT NO: 2023-0250  
DRAWN: SPICE  
APPROVED: SPICE  
SCALE: 1:100

REV DRAWING NO.

2 A302



