

254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

ISSUED FOR SPC AND REZONING: 2024.08.29

ARCHITECTURAL

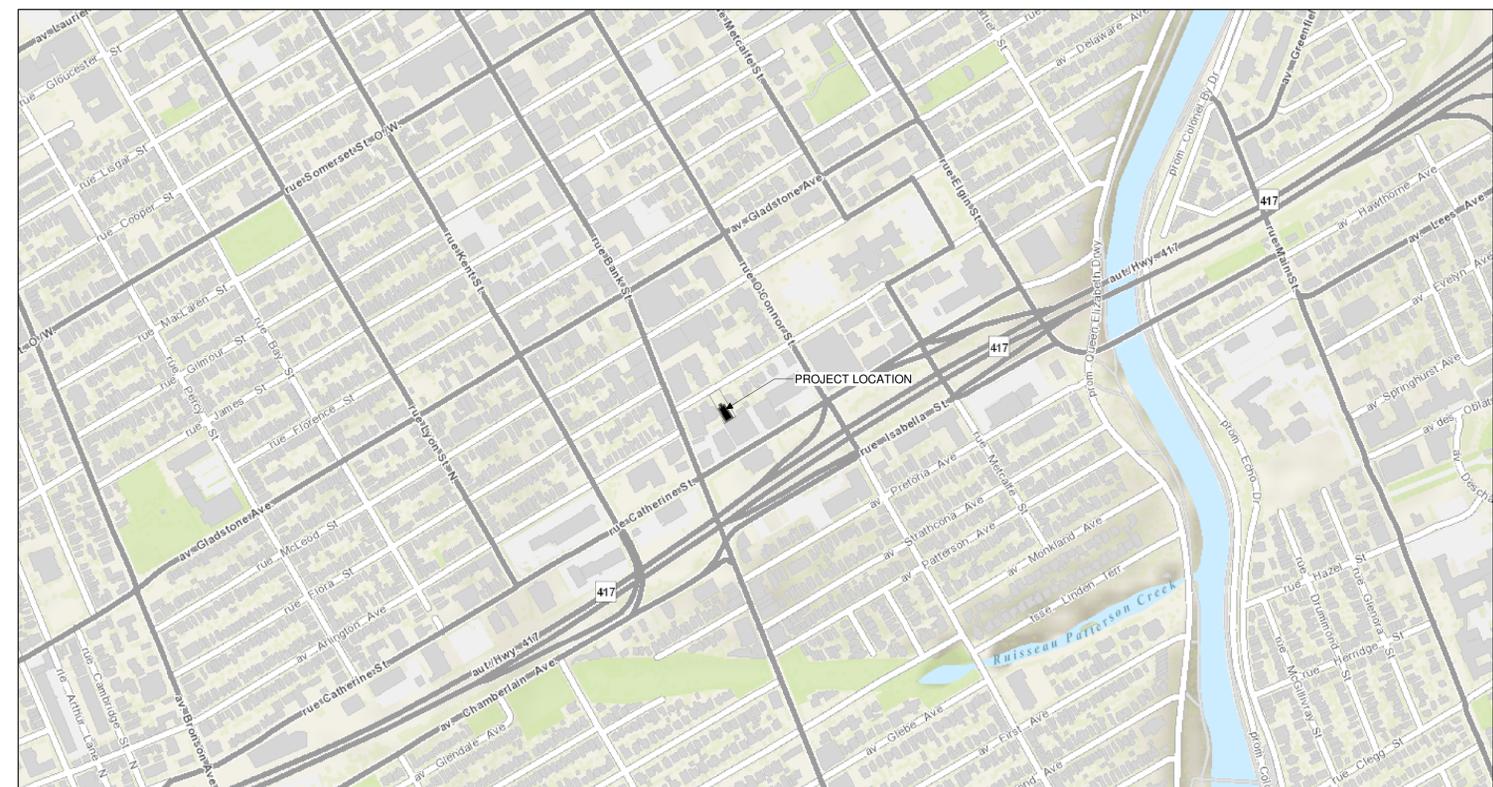
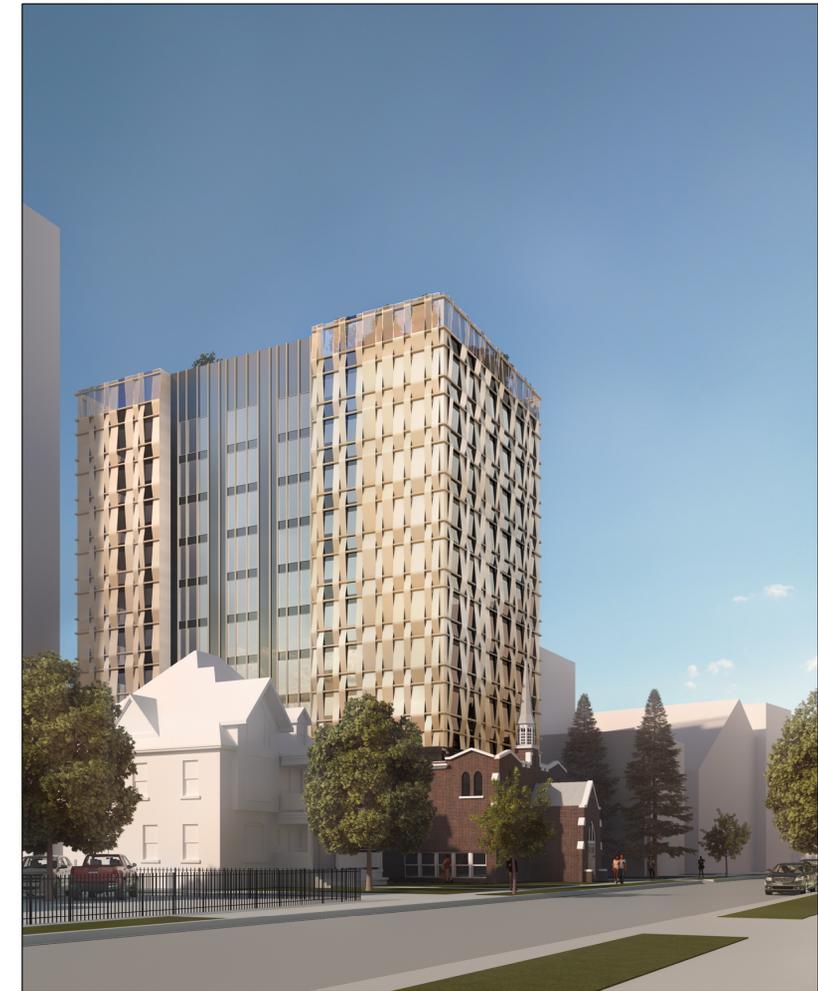
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A100	SITE PLAN
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A202	LEVEL 1B AND LEVEL 1C PLANS
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A300	NORTH & SOUTH ELEVATIONS
A301	EAST ELEVATION
A302	WEST ELEVATION
A400	LONGITUDINAL SECTION

CIVIL

123062-GP	GENERAL PLAN OF SERVICES
123062-GR	GRADING PLAN

LANDSCAPE

123062-TCR1	TREE CONSERVATION PLAN 1
123062-TCR2	TREE CONSERVATION PLAN 2
123062-L	LANDSCAPE PLAN



PROJECT LOCATION PLAN

NTS

ARCHITECT OF RECORD

CSV ARCHITECTS

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2	2024.08.29	ISSUED FOR SPC AND REZONING
1	2024.05.08	ISSUED FOR PHASE 2 PRECONSULT

REV DATE ISSUE

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5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT



OTTAWA
ONTARIO, CANADA

PROJECT

254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

TITLE

COVER PAGE

PROJECT NO: 2023-0250
DRAWN: RR/VC
APPROVED: DH
SCALE: As indicated
DATE PRINTED: 9/3/2024 11:11:07 AM

REV DRAWING NO.

2

A000

DEMOLITION SITE PLAN KEYNOTES:

- 1 EXISTING SIDEWALK TO REMAIN
- 2 EXISTING ASPALT PAVING TO REMAIN
- 3 EXISTING CURB TO REMAIN
- 4 EXISTING SIGN TO REMAIN
- 5 EXISTING LANDSCAPING TO REMAIN.

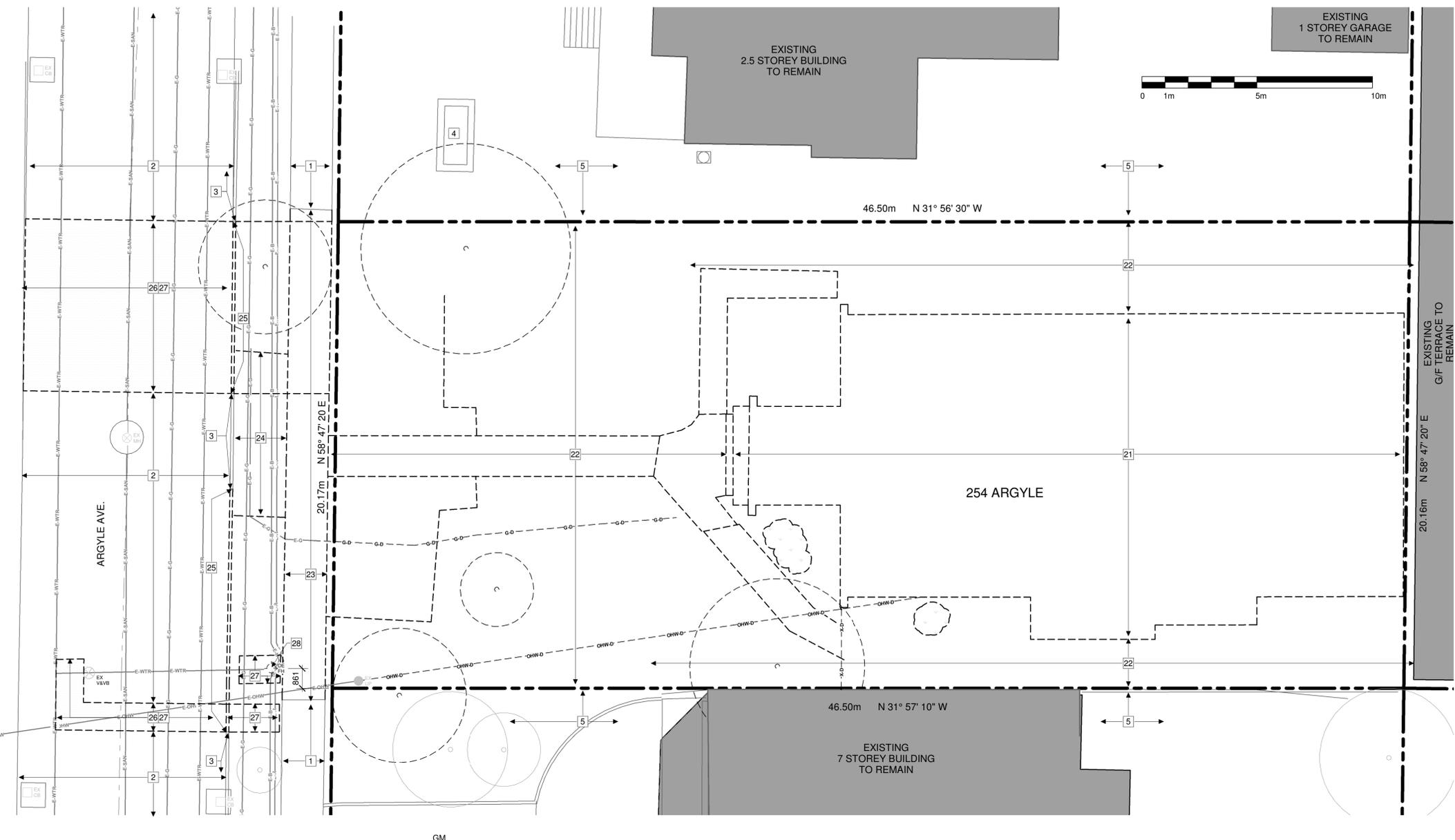
- 21 REMOVE AND PRESERVE CHURCH WALLS AND STEEPLE BRICK BY BRICK. REFER TO 254 ARGYLE AVENUE CHURCH RELOCATION OPTIONS ANALYSIS OPTION 3, PREPARED BY REMISZ, DATED MARCH 28, 2024. DEMOLISH REMAINDER OF BUILDING.
- 22 REMOVE EXISTING LANDSCAPING AT AREA OF WORK
- 23 REMOVE EXISTING SIDEWALK
- 24 REMOVE EXISTING ASPHALT DRIVEWAY
- 25 REMOVE EXISTING CURB
- 26 REMOVE AND REINSTATE EXISTING ROAD ASSEMBLY AS REQUIRED FOR TRENCHING AND UTILITY SERVICE CONSTRUCTION. CUT PAVING IN STRAIGHT LINES. MATCH EXISTING PAVING ASSEMBLY AND ELEVATIONS.
- 27 TRENCH AS REQUIRED FOR UTILITY SERVICE REMOVAL AND NEW CONSTRUCTION. FILL TRENCHES PER GEOTECHNICAL. MATCH ADJACENT SITE LEVELS AND CONDITIONS
- 28 REMOVE AND RELOCATE EXISTING FIRE HYDRANT PER CIVIL

DEMOLITION SITE PLAN GENERAL NOTES:

- 1. ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- 2. DO NOT SCALE THIS DRAWING
- 3. REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORNE BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- 4. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- 5. REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- 6. CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- 7. THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- 8. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- 9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

DEMOLITION SITE PLAN LEGEND:

	EXISTING BUILDING & SITE ELEMENTS
	DEMOLISHED BUILDING & SITE ELEMENTS
	PROPERTY LINE
	EXISTING FENCE TO REMAIN
	FENCE TO REMOVE
	EXISTING WATER MAIN TO REMAIN
	WATER MAIN TO REMOVE
	EXISTING SANITARY SEWAGE TO REMAIN
	SANITARY SEWAGE TO REMOVE
	EXISTING STORM SEWAGE TO REMAIN
	STORM SEWAGE TO REMOVE
	EXISTING ELECTRICAL OVERHEAD SERVICE TO REMAIN
	ELECTRICAL OVERHEAD SERVICE TO REMOVE
	EXISTING GAS LINE TO REMAIN
	GAS LINE TO REMOVE
	EXISTING BELL LINE TO REMAIN
	EXISTING ROGER LINE TO REMAIN
	EXISTING CATCH BASIN
	EXISTING LIGHT STANDARD
	EXISTING FIRE HYDRANT
	FIRE HYDRANT TO REMOVE
	EXISTING MAINTENANCE HOLE
	EXISTING UTILITY POLE
	EXISTING VALVE AND VALVE BOX TO REMAIN
	EXISTING TREE TO REMAIN
	REMOVE EXITING TREE



1 DEMOLITION SITE PLAN

D100 1:100

LEGAL DESCRIPTION
LOT 16 (SOUTH ARGYLE AVENUE)
REGISTERED PLAN 30
CITY OF OTTAWA

REFERENCE SURVEY
DRAFT OF TOPOGRAPHIC PLAN OF SURVEY OF
LOT 16 (SOUTH ARGYLE AVENUE)
REGISTERED PLAN 30
CITY OF OTTAWA
PREPARED BY SURVEYED BY ANNIS, O'SULLIVAN,
VOLLEBEK LTD.

MUNICIPAL ADDRESS
254 ARGYLE AVE. OTTAWA, ON

	SITE AREA	937.6m ²	ZONING PROVISION	REQUIRED	PROVIDED	PARKING QUEUING + LOADING	REQUIRED	PROVIDED
BUILDING AREA	633.56m ²		MIN. LOT WIDTH	22.5m	20.17m	RESIDENTIAL SPACES	42	27
GROSS FLOOR AREA	3,810.12m ²		MIN. LOT AREA	675m ²	937.05m ²	VISITOR SPACES	8	8
BUILDING HEIGHT	35m 9 STOREYS		MIN. FRONT YARD SETBACK	3m	1.42m	ACCESSIBLE PARKING	0	1
ZONE:	R5B H(19)		MIN. REAR YARD SETBACK	7.5m	3.759m	BICYCLE PARKING	42 (.5/UNIT)	84
SCHEDULE 1:	AREA B		MIN. INTERIOR YARD SETBACK	1.5m (6m past 21m)	1.5m			
SCHEDULE 1A:	AREA X		MAX. HEIGHT	19m	34.5m			
			AMENITY AREA	504m ² (6m ² /unit)	587m ²			
			LANDSCAPED AREA	281.12m ²	270.94m ²			



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2	2024.08.29	ISSUED FOR SPC AND REZONING
1	2024.05.08	ISSUED FOR PHASE 2 PRECONSULT

REV DATE ISSUE

- NOTES
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SITE PLAN KEYNOTES:

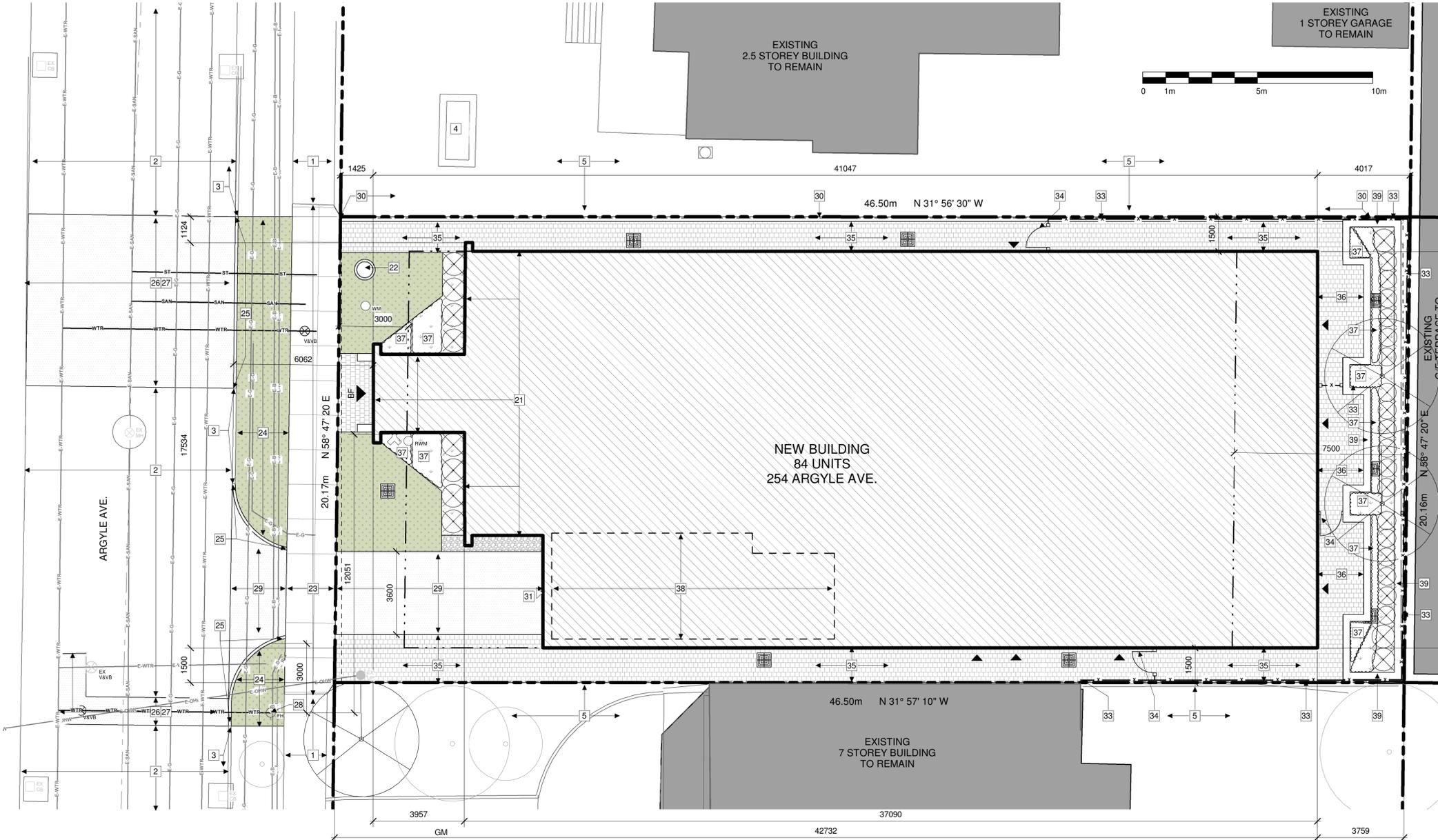
- | | | |
|-------------------------------------|--|---|
| 1 EXISTING SIDEWALK TO REMAIN | 21 RELOCATE EXISTING CHURCH FACADE TO NEW LOCATION | 32 WOOD PRIVACY FENCE PER LANDSCAPING |
| 2 EXISTING ASPHALT PAVING TO REMAIN | 22 VENTED CISTERN LID | 33 TERMINATE WOOD PRIVACY FENCE FLUSH TO THE RETAINING WALL PER LANDSCAPING |
| 3 EXISTING CURB TO REMAIN | 23 NEW CONCRETE SIDEWALK PER CIVIL | 34 PEDESTRIAN GATE |
| 4 EXISTING SIGN TO REMAIN | 24 REINSTATE TOP SOIL AND GRASS IN BETWEEN ROAD AND SIDEWALK AT AREAS EFFECTED BY CONSTRUCTION | 35 WALKWAY PER LANDSCAPING |
| 5 EXISTING LANDSCAPING TO REMAIN. | 25 NEW CURB PER CIVIL | 36 PATIO PER LANDSCAPING |
| | 26 REINSTATE EXISTING ROAD ASSEMBLY PER CIVIL AT AREAS EFFECTED BY DEMOLITION AND CONSTRUCTIONS. PROVIDE SMOOTH TRANSITION TO EXISTING PAVING. | 37 PLANTS PER LANDSCAPING |
| | 27 BACKFILL TRENCHES AS REQUIRED PER CIVIL AND GEOTECHNICAL. | 38 VAULT |
| | 28 RELOCATE EXISTING FIRE HYDRANT PER CIVIL. | 39 RAISED PLANTER WALL PER LANDSCAPING |
| | 29 NEW DRIVEWAY PER CIVIL | |
| | 30 NEW CURB WALL PER CIVIL | |
| | 31 OVERHEAD DOOR TO UNDERGROUND PARKING | |

SITE PLAN GENERAL NOTES:

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
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- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

SITE PLAN LEGEND:

- | | |
|--|--|
| | EXISTING BUILDING & SITE ELEMENTS |
| | NEW BUILDING |
| | NEW ASPHALT PAVING |
| | NEW GRASS |
| | NEW PLANTING BEDS / PLANTS PER LANDSCAPING |
| | NEW CONCRETE SIDEWALK |
| | NEW CONCRETE PAD |
| | NEW RIVER STONE PER LANDSCAPING |
| | NEW PAVER PER LANDSCAPING |
| | PROPERTY LINE |
| | SET BACK LINE |
| | EXTENT OF PARKING BELOW GRADE |
| | NEW FENCE PER LANDSCAPE |
| | EXISTING WATER MAIN TO REMAIN |
| | NEW WATER MAIN PER CIVIL |
| | EXISTING SANITARY SEWAGE TO REMAIN |
| | NEW SANITARY SEWAGE PER CIVIL |
| | EXISTING STORM SEWAGE TO REMAIN |
| | NEW STORM SEWAGE PER CIVIL |
| | EXISTING ELECTRICAL OVERHEAD SERVICE TO REMAIN |
| | NEW ELECTRICAL OVERHEAD SERVICE PER ELECTRICAL |
| | EXISTING GAS LINE TO REMAIN |
| | NEW GAS LINE PER CIVIL |
| | EXISTING BELL LINE TO REMAIN |
| | EXISTING ROGER LINE TO REMAIN |
| | ENTRANCE/ BARRIER-FREE ENTRANCE |
| | MAIN ENTRANCE |
| | VEHICLE ACCESS |
| | NEW AREA DRAIN PER CIVIL |
| | CATCH BASIN: EXISTING TO REMAIN / NEW PER CIVIL |
| | MAINTENANCE HOLE: EXISTING TO REMAIN / NEW PER CIVIL |
| | UTILITY POLE: EXISTING TO REMAIN / NEW PER CIVIL |
| | VALVE AND VALVE BOX : EXISTING TO REMAIN / NEW PER CIVIL |
| | LIGHT STANDARD |
| | NEW FIRE HYDRANT PER CIVIL |
| | NEW WATER METER PER CIVIL |
| | NEW REMOTE WATER METER PER CIVIL |
| | NEW SIAMESE CONNECTION |
| | NEW DROPPED CURB |
| | NEW TREE PER LANDSCAPING |
| | EXISTING TREE TO REMAIN |
| | SHRUB: EXISTING TO REMAIN / NEW PER LANDSCAPING |



1 NEW SITE PLAN
A100 1:100

LEGAL DESCRIPTION
LOT 16 (SOUTH ARGYLE AVENUE)
REGISTERED PLAN 30
CITY OF OTTAWA

REFERENCE SURVEY
DRAFT OF TOPOGRAPHIC PLAN OF SURVEY OF
LOT 16 (SOUTH ARGYLE AVENUE)
REGISTERED PLAN 30
CITY OF OTTAWA
PREPARED BY SURVEYED BY ANNIS, O'SULLIVAN,
VOLLEBEK LTD.

MUNICIPAL ADDRESS
254 ARGYLE AVE. OTTAWA, ON

SITE AREA	937.6m ²
BUILDING AREA	633.56m ²
GROSS FLOOR AREA	3,810.12m ²
BUILDING HEIGHT	35m 9 STOREYS
ZONE:	R5B H(19)
SCHEDULE 1:	AREA B
SCHEDULE 1A:	AREA X

ZONING PROVISION	REQUIRED	PROVIDED
MIN. LOT WIDTH	22.5m	20.17m
MIN. LOT AREA	675m ²	937.05m ²
MIN. FRONT YARD SETBACK	3m	1.42m
MIN. REAR YARD SETBACK	7.5m	3.759m
MIN. INTERIOR YARD SETBACK	1.5m (6m past 21m)	1.5m
MAX. HEIGHT	19m	34.5m
AMENITY AREA	504m ² (6m ² /unit)	587m ²
LANDSCAPED AREA	281.12m ²	270.94m ²

PARKING QUEUING + LOADING	REQUIRED	PROVIDED
RESIDENTIAL SPACES	42	27
VISITOR SPACES	8	8
ACCESSIBLE PARKING	0	1
BICYCLE PARKING	42 (.5/UNIT)	84

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CLIENT



OTTAWA
ONTARIO, CANADA

PROJECT

254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

TITLE

SITE PLAN

PROJECT NO: 2023-0250
DRAWN: EF / IK
APPROVED: DH
SCALE: As indicated
DATE PRINTED: 9/3/2024 11:11:13 AM

REV DRAWING NO.

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CLIENT



OTTAWA
ONTARIO, CANADA

PROJECT

254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

TITLE

LEVEL -2 PLAN

PROJECT NO: 2023-0250
DRAWN: Author
APPROVED: Approver
SCALE: 1 : 100
DATE PRINTED: 9/3/2024 11:11:17 AM

REV DRAWING NO.

2 A200

GENERAL REFERENCE PLAN NOTES:

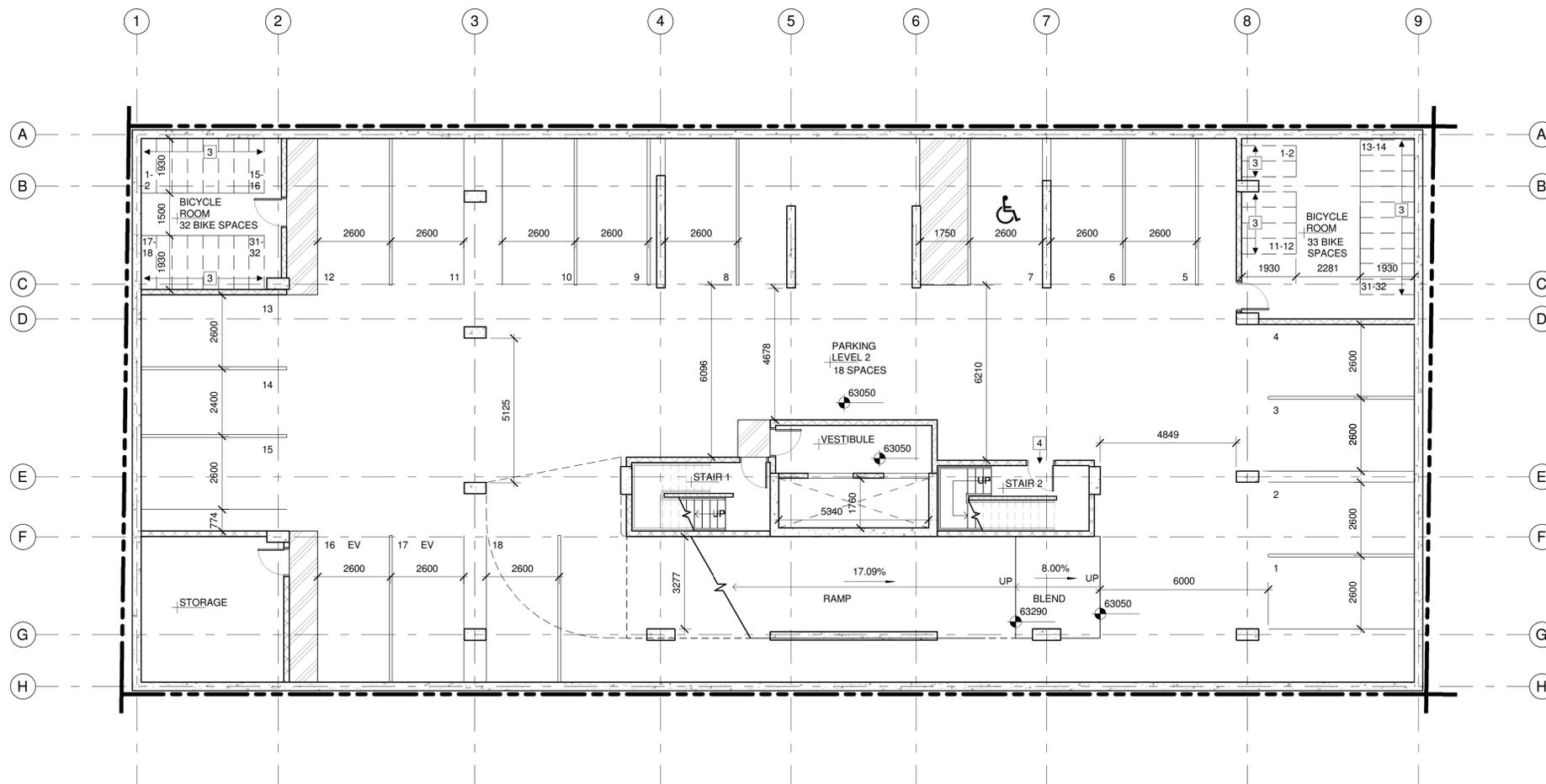
- DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE FOR LOCATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTINGS, COLUMNS AND FOUNDATION WALL SIZES.
- REFER TO MECHANICAL + ELECTRICAL DRAWINGS FOR DETAILS OF UNDERGROUND SERVICES.
- ALL EXTERIOR FOUNDATION WALLS ARE DIMENSIONED TO EXTERIOR FACE OF ASSEMBLY UNLESS OTHERWISE NOTED.
- ALL INTERIOR FOUNDATION WALLS + FOOTINGS ARE DIMENSIONED FROM GRIDLINE TO FACE UNLESS OTHERWISE NOTED.
- ALL WINDOWS ARE DIMENSIONED TO CENTERLINE OF WINDOW OPENING, UNLESS OTHERWISE NOTED.
- ALL DOORS ARE DIMENSIONED TO CENTERLINE OF DOOR OPENING, INCLUDING SIDELIGHT FRAMING, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS ARE DIMENSIONED TO THE EXTERIOR FINISHED FACE, UNLESS NOTED OTHERWISE.
- ALL INTERIOR DIMENSIONS ARE DIMENSIONED FROM INTERIOR FINISHED FACES OF EXTERIOR WALLS, UNLESS OTHERWISE NOTED.
- ALL INTERIOR WALLS ARE DIMENSIONED TO CENTERLINE OF PARTITION, UNLESS OTHERWISE NOTED. CONSIDER OFFSET FROM PARTITION CENTERLINE TO STUD FRAMING CENTER BASED ON WALL ASSEMBLY.
- ENSURE 25mm MINIMUM THICKNESS OF CONCRETE COVER OVER VERTICAL STEEL REINFORCEMENT TO ALL REINFORCED CONCRETE STRUCTURAL COLUMNS AND WALLS.

REFERENCE PLAN KEYNOTES:

- CISTERN OVERFLOW AND HATCH / VENTED CISTERN LID
- EXTENT OF DROPPED SLAB ABOVE
- DOUBLE TEAR BICYCLE STORAGE SPACES
- EXIT ONLY
- EXTENT OF FOUNDATION WALL BELOW

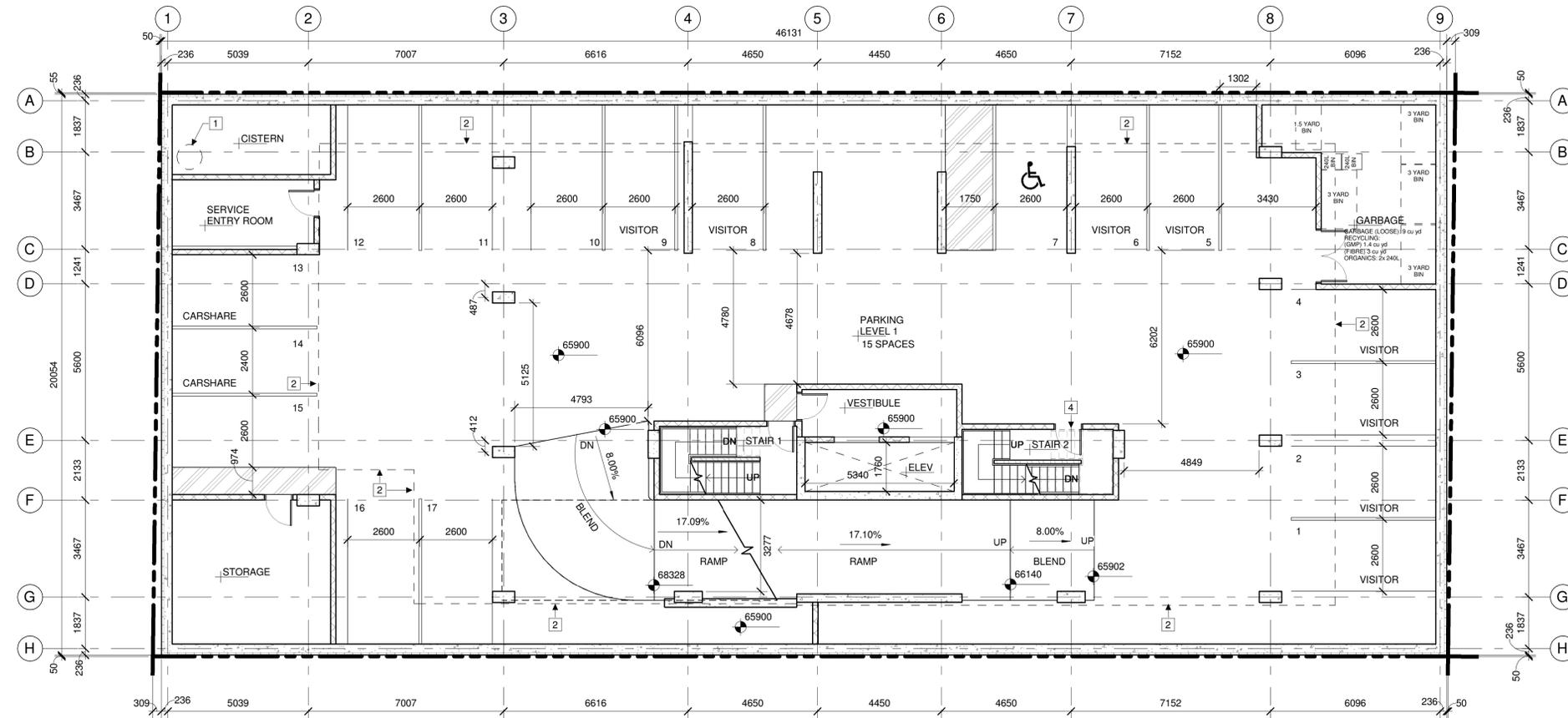
REFERENCE PLAN LEGEND:

- NOT IN CONTRACT
- PAINTED PARKING ISLAND

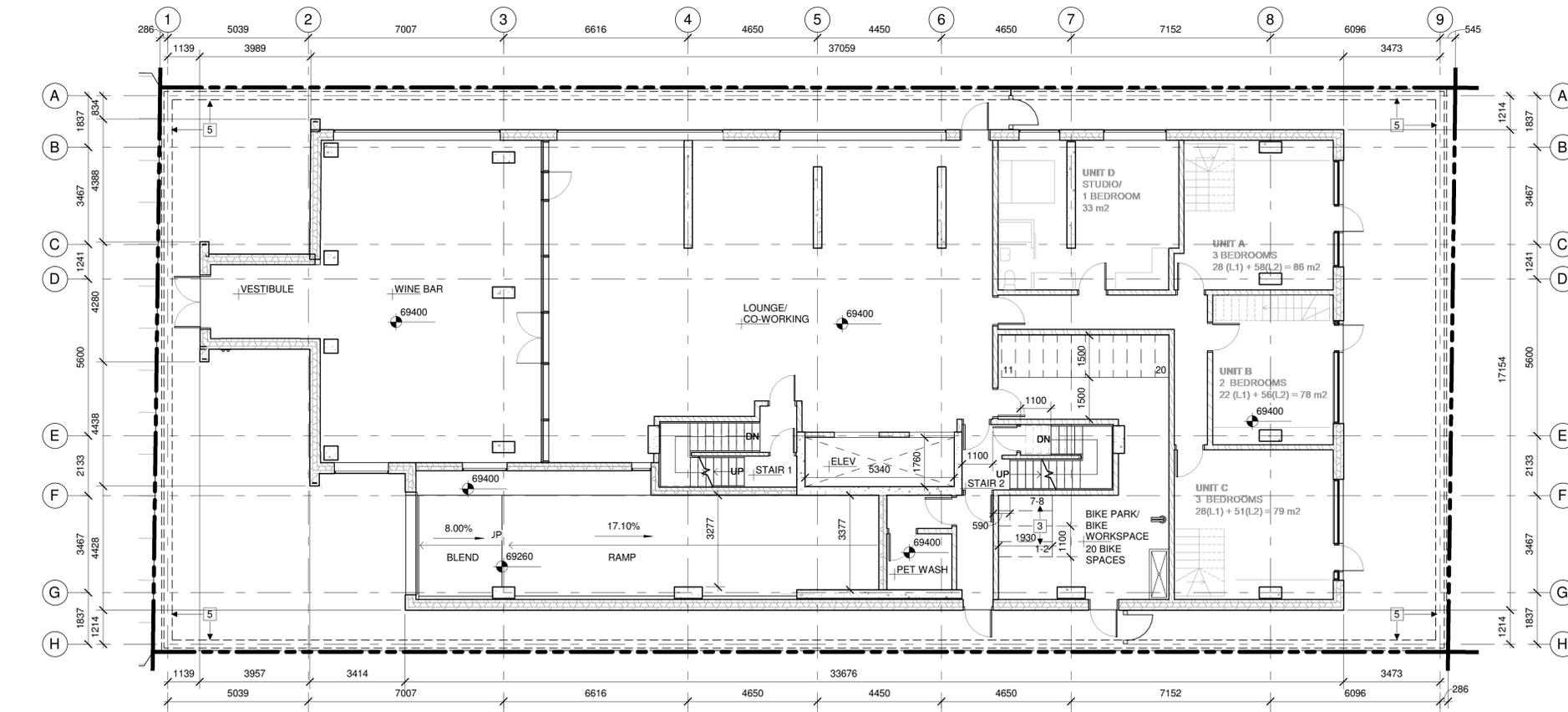


1 LEVEL -2 PLAN
A200 1:100





1 LEVEL -1 PLAN
A201 1:100



2 GROUND FLOOR REFERENCE PLAN
A201 1:100



GENERAL REFERENCE PLAN NOTES:

- A. DO NOT SCALE DRAWINGS.
- B. DIMENSIONS ARE FOR LOCATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTINGS, COLUMNS AND FOUNDATION WALL SIZES.
- C. REFER TO MECHANICAL + ELECTRICAL DRAWINGS FOR DETAILS OF UNDERGROUND SERVICES.
- D. ALL EXTERIOR FOUNDATION WALLS ARE DIMENSIONED TO EXTERIOR FACE OF ASSEMBLY UNLESS OTHERWISE NOTED.
- E. ALL INTERIOR FOUNDATION WALLS + FOOTINGS ARE DIMENSIONED FROM GRIDLINE TO FACE UNLESS OTHERWISE NOTED.
- F. ALL WINDOWS ARE DIMENSIONED TO CENTERLINE OF WINDOW OPENING, UNLESS OTHERWISE NOTED.
- G. ALL DOORS ARE DIMENSIONED TO CENTERLINE OF DOOR OPENING, INCLUDING SIDELIGHT FRAMING, UNLESS OTHERWISE NOTED.
- H. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE EXTERIOR FINISHED FACE, UNLESS NOTED OTHERWISE.
- I. ALL INTERIOR DIMENSIONS ARE DIMENSIONED FROM INTERIOR FINISHED FACES OF EXTERIOR WALLS, UNLESS OTHERWISE NOTED.
- J. ALL INTERIOR WALLS ARE DIMENSIONED TO CENTERLINE OF PARTITION, UNLESS OTHERWISE NOTED. CONSIDER OFFSET FROM PARTITION CENTERLINE TO STUD FRAMING CENTER BASED ON WALL ASSEMBLY.
- K. ENSURE 25mm MINIMUM THICKNESS OF CONCRETE COVER OVER VERTICAL STEEL REINFORCEMENT TO ALL REINFORCED CONCRETE STRUCTURAL COLUMNS AND WALLS.

REFERENCE PLAN KEYNOTES:

- 1 CISTERN OVERFLOW AND HATCH / VENTED CISTERN LID
- 2 EXTENT OF DROPPED SLAB ABOVE
- 3 DOUBLE TEAR BICYCLE STORAGE SPACES
- 4 EXIT ONLY
- 5 EXTENT OF FOUNDATION WALL BELOW

REFERENCE PLAN LEGEND:

- NOT IN CONTRACT
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ARCHITECT OF RECORD

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2 2024.08.29 ISSUED FOR SPC AND REZONING

1 2024.05.08 ISSUED FOR PHASE 2 PRECONSTRUCTION

REV DATE ISSUE

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CLIENT



OTTAWA

ONTARIO, CANADA

PROJECT

254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

TITLE

LEVEL -1 AND GROUND FLOOR PLANS

PROJECT NO: 2023-0250

DRAWN: IK / EF

APPROVED: DH

SCALE: 1 : 100

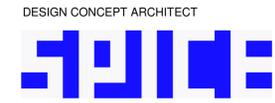
DATE PRINTED: 9/3/2024 11:11:21 AM

REV

DRAWING NO.

2

A201



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OTTAWA
 ONTARIO, CANADA

PROJECT
254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

TITLE
LEVEL 1B AND LEVEL 1C PLANS

PROJECT NO: 2023-0250
 DRAWN: IK / EF / RK
 APPROVED: DH
 SCALE: 1 : 100
 DATE PRINTED: 9/3/2024 11:11:26 AM

REV DRAWING NO.
2 A202

GENERAL REFERENCE PLAN NOTES:

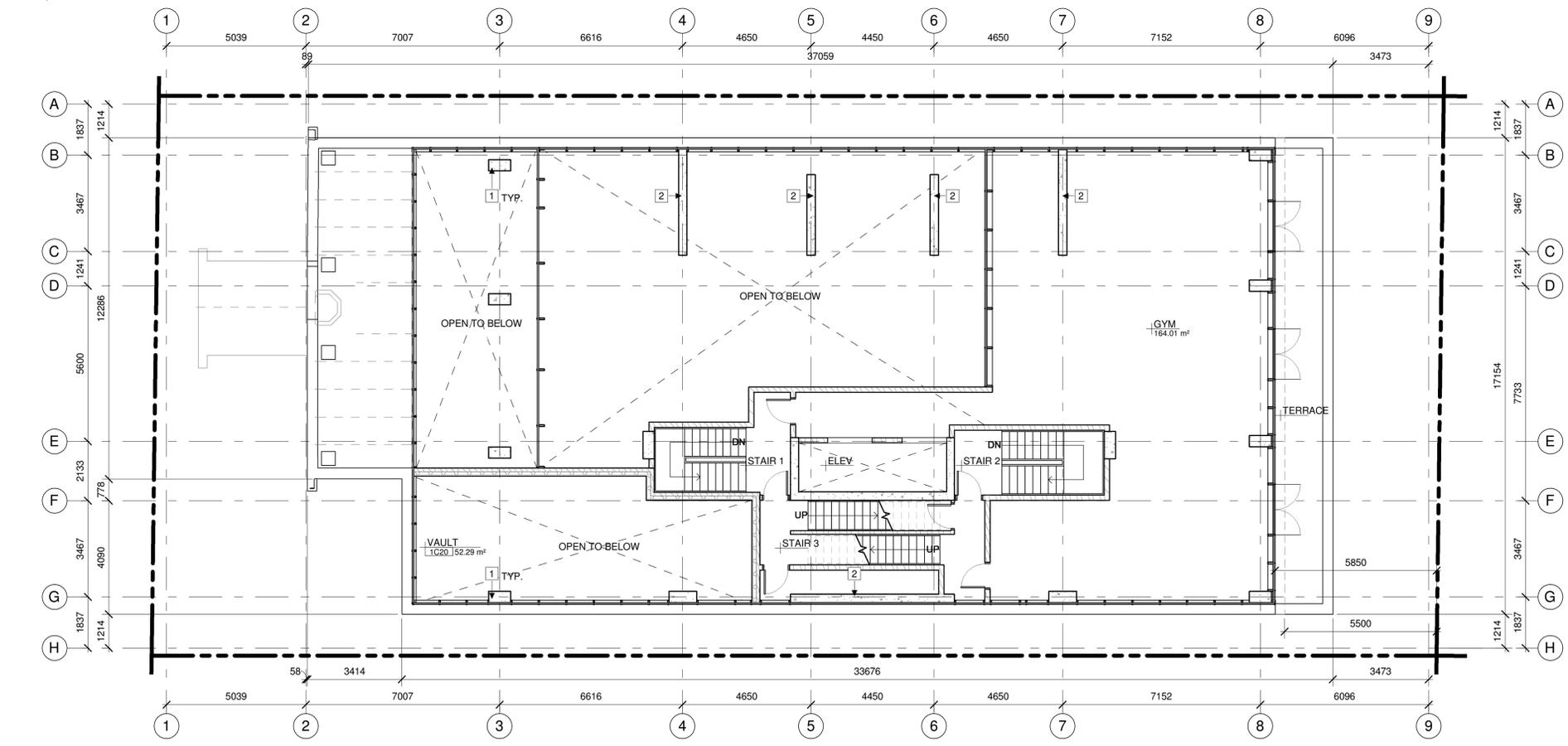
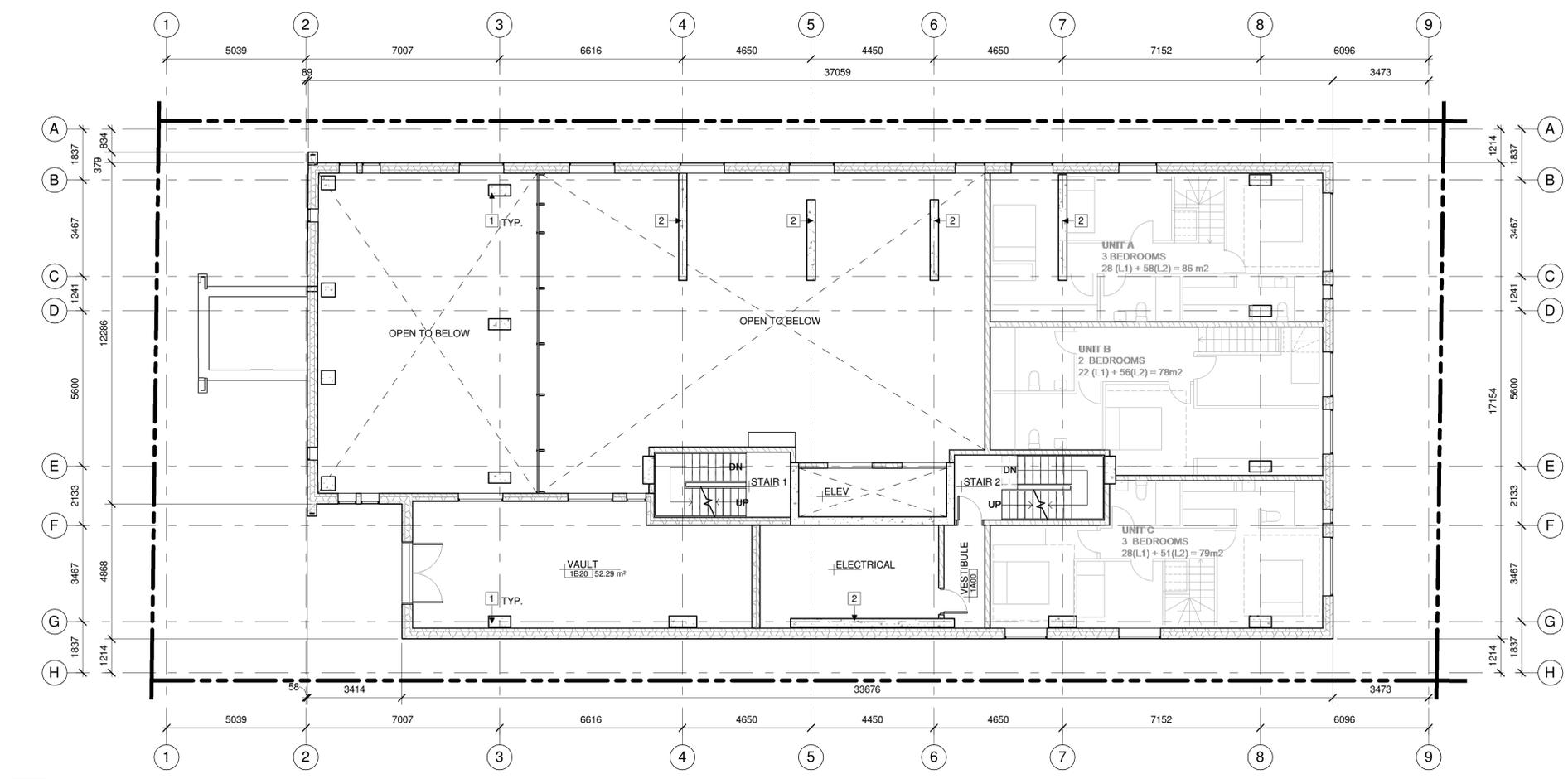
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- ENSURE 25mm MINIMUM THICKNESS OF CONCRETE COVER OVER VERTICAL STEEL REINFORCEMENT TO ALL REINFORCED CONCRETE STRUCTURAL COLUMNS AND WALLS.

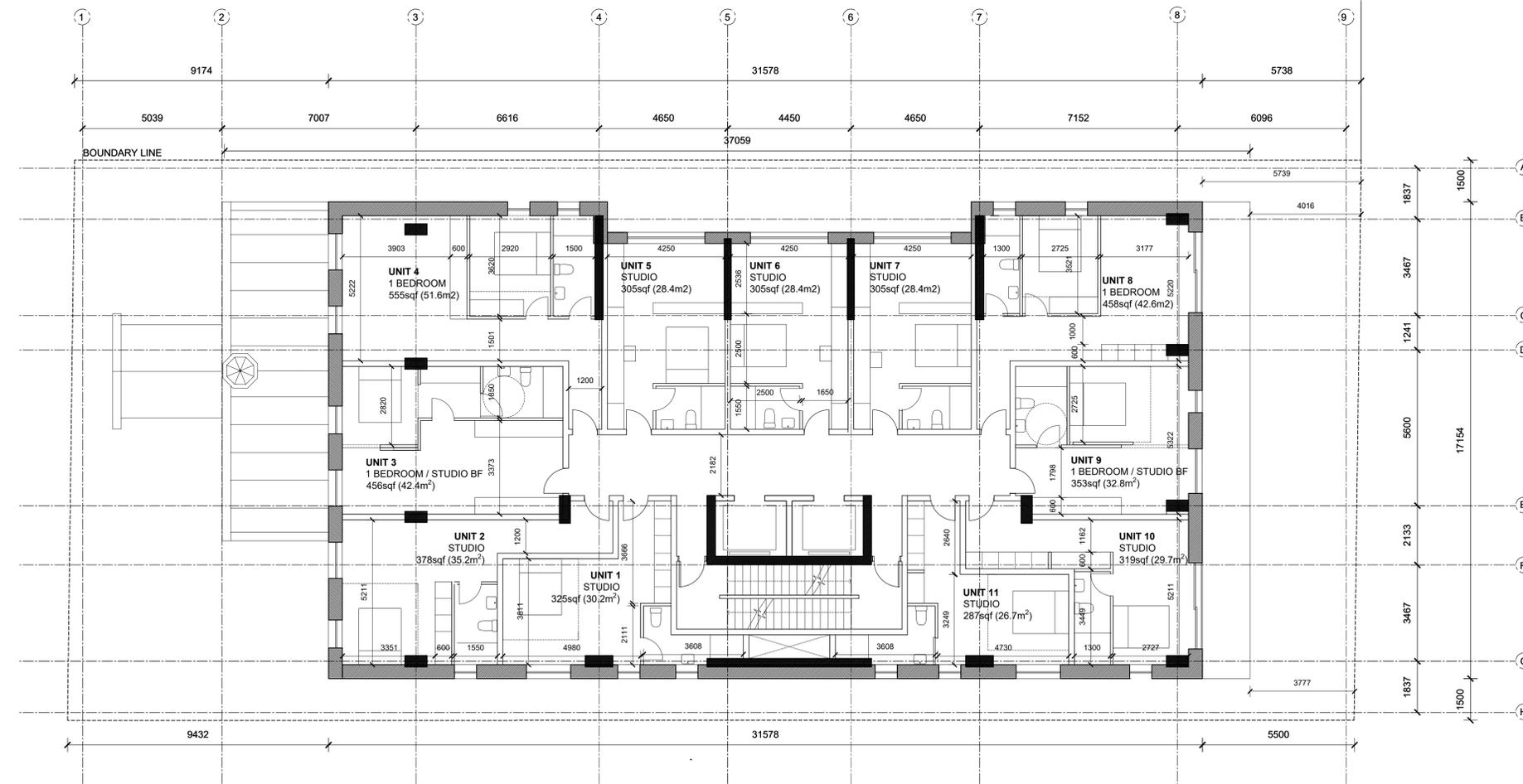
REFERENCE PLAN KEYNOTES:

- COLUMN PER STRUCTURAL
- WALL PER STRUCTURAL

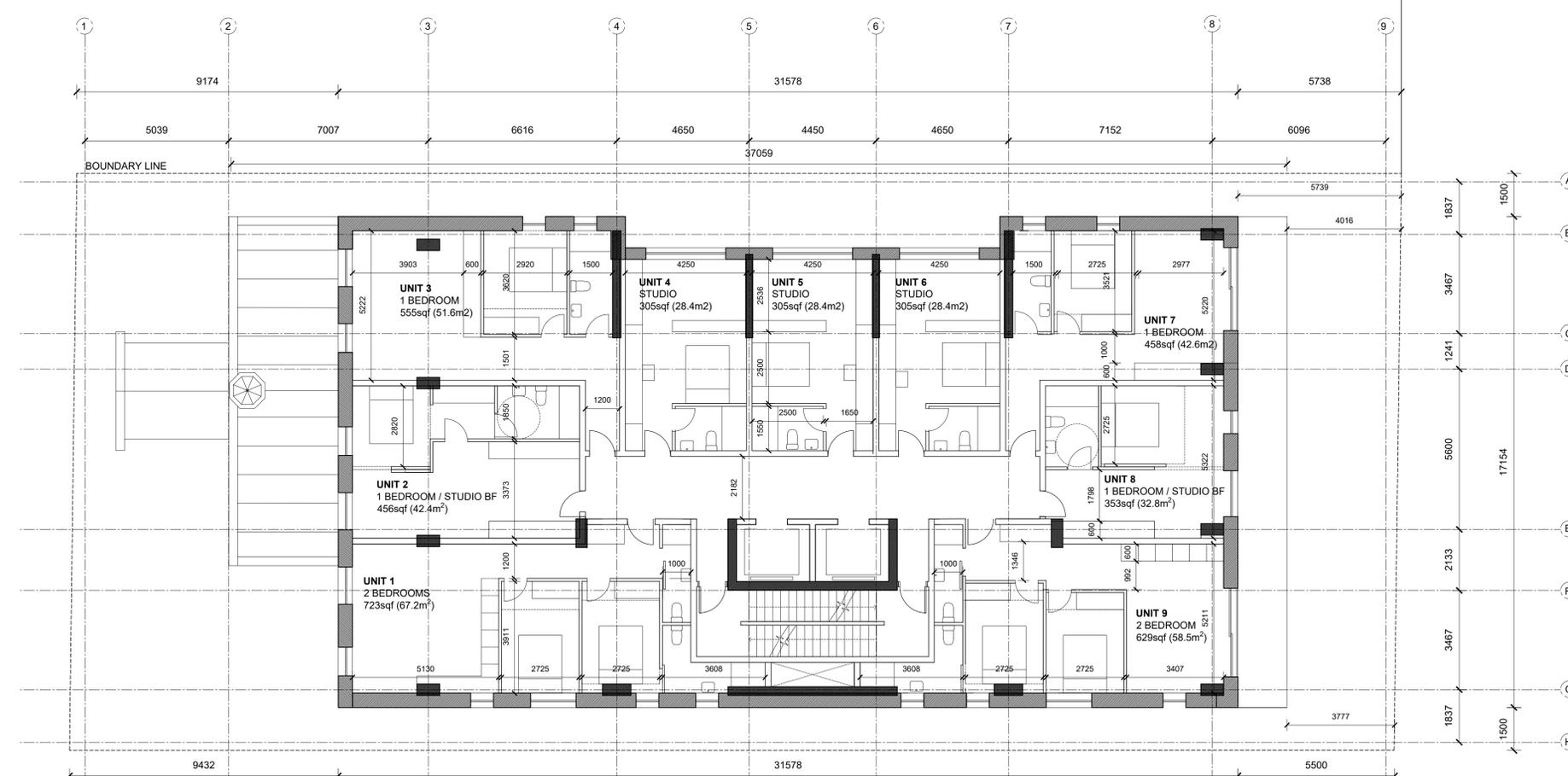
REFERENCE PLAN LEGEND:

NOT IN CONTRACT





1 LOWER TYPICAL FLOOR PLAN - LEVELS 2-5
A203 1:100



2 UPPER TYPICAL FLOOR PLAN - LEVELS 6-9
A203 1:100

ARCHITECT OF RECORD

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REV	DATE	ISSUE
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OTTAWA
ONTARIO, CANADA

PROJECT

254 ARGYLE

254 Argyle, Ottawa, Ontario

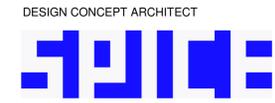
TITLE

**LEVELS 2-9
FLOOR PLANS**

PROJECT NO: 2023-0250
DRAWN: SPICE
APPROVED: SPICE
SCALE: 1:100

REV DRAWING NO.

2 A203



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OTTAWA
 ONTARIO, CANADA

PROJECT
254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

TITLE
ROOFS & PENTHOUSE PLANS

PROJECT NO: 2023-0250
 DRAWN: IK / EF / RK
 APPROVED: DH
 SCALE: 1 : 100
 DATE PRINTED: 9/3/2024 11:11:28 AM

REV DRAWING NO.
2 A204

GENERAL REFERENCE PLAN NOTES:

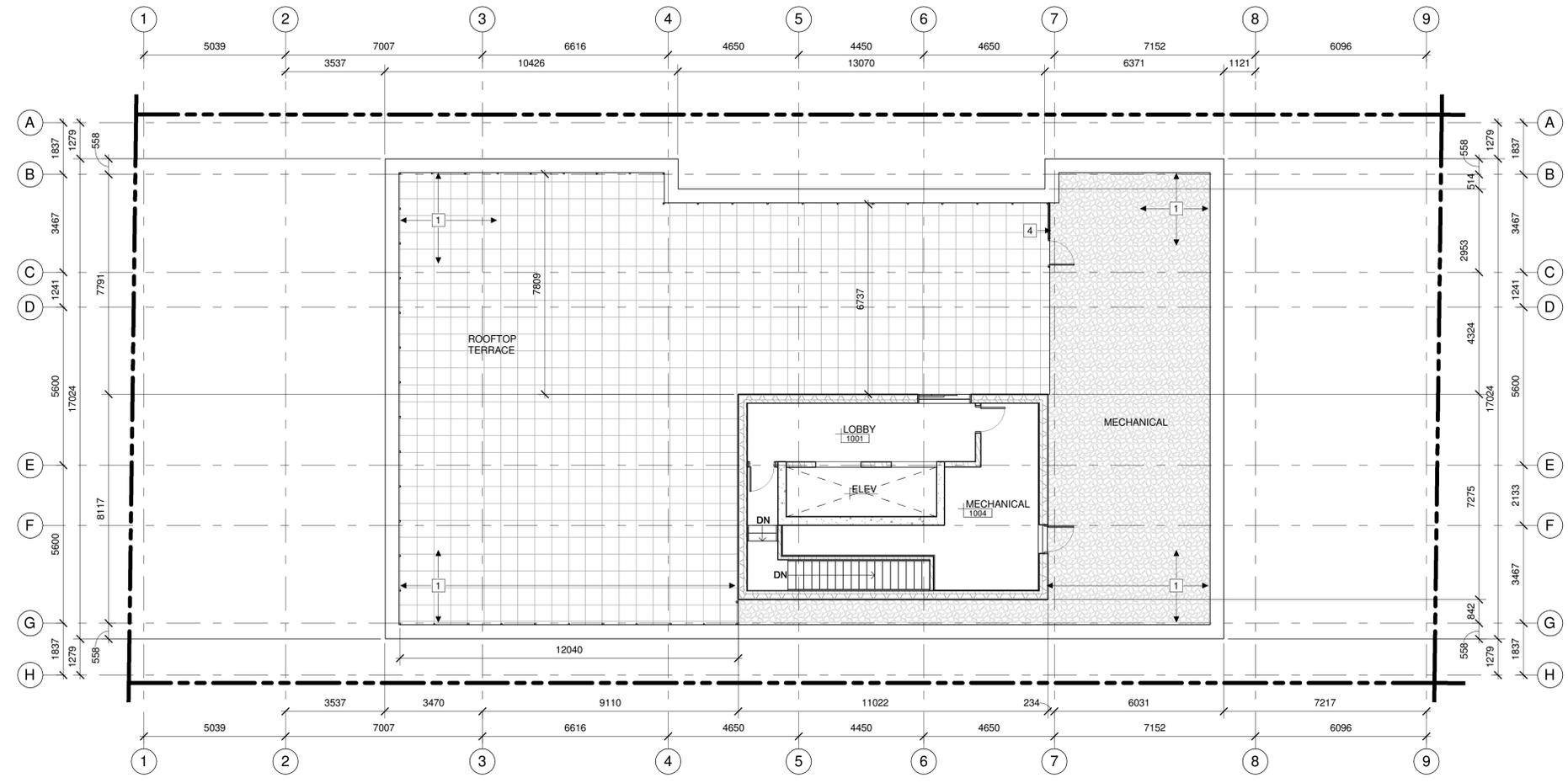
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REFERENCE PLAN KEYNOTES:

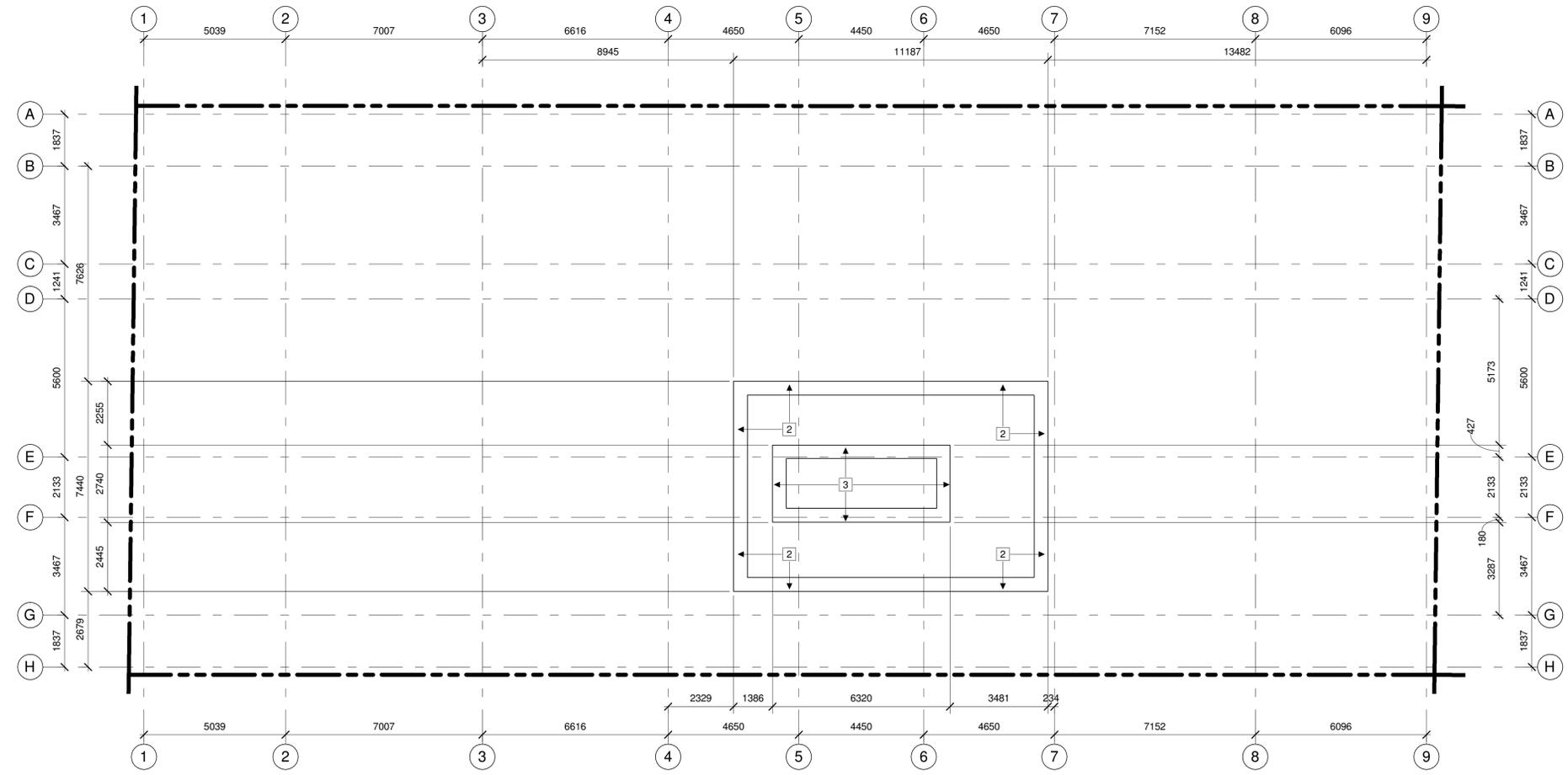
- LOWER LEVEL ROOF
- UPPER ROOF
- ELEVATOR SHAFT ROOF
- ROOF SCREEN AND GATE

REFERENCE PLAN LEGEND:

NOT IN CONTRACT



1 PENTHOUSE & MAIN ROOF PLAN
 A204 1:100



2 UPPER ROOF PLAN
 A204 1:100



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ONTARIO, CANADA

PROJECT

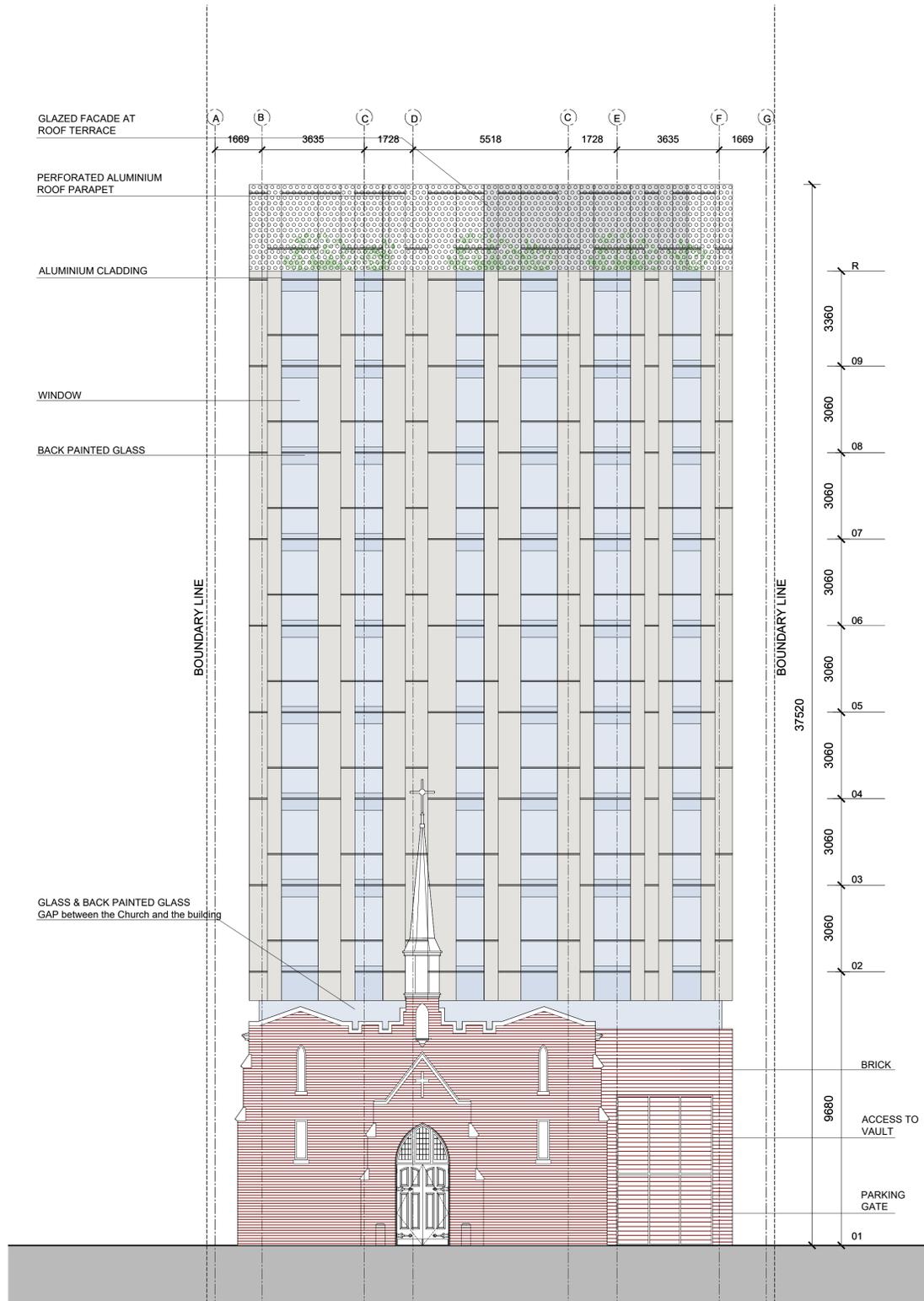
254 ARGYLE

254 Argyle, Ottawa, Ontario

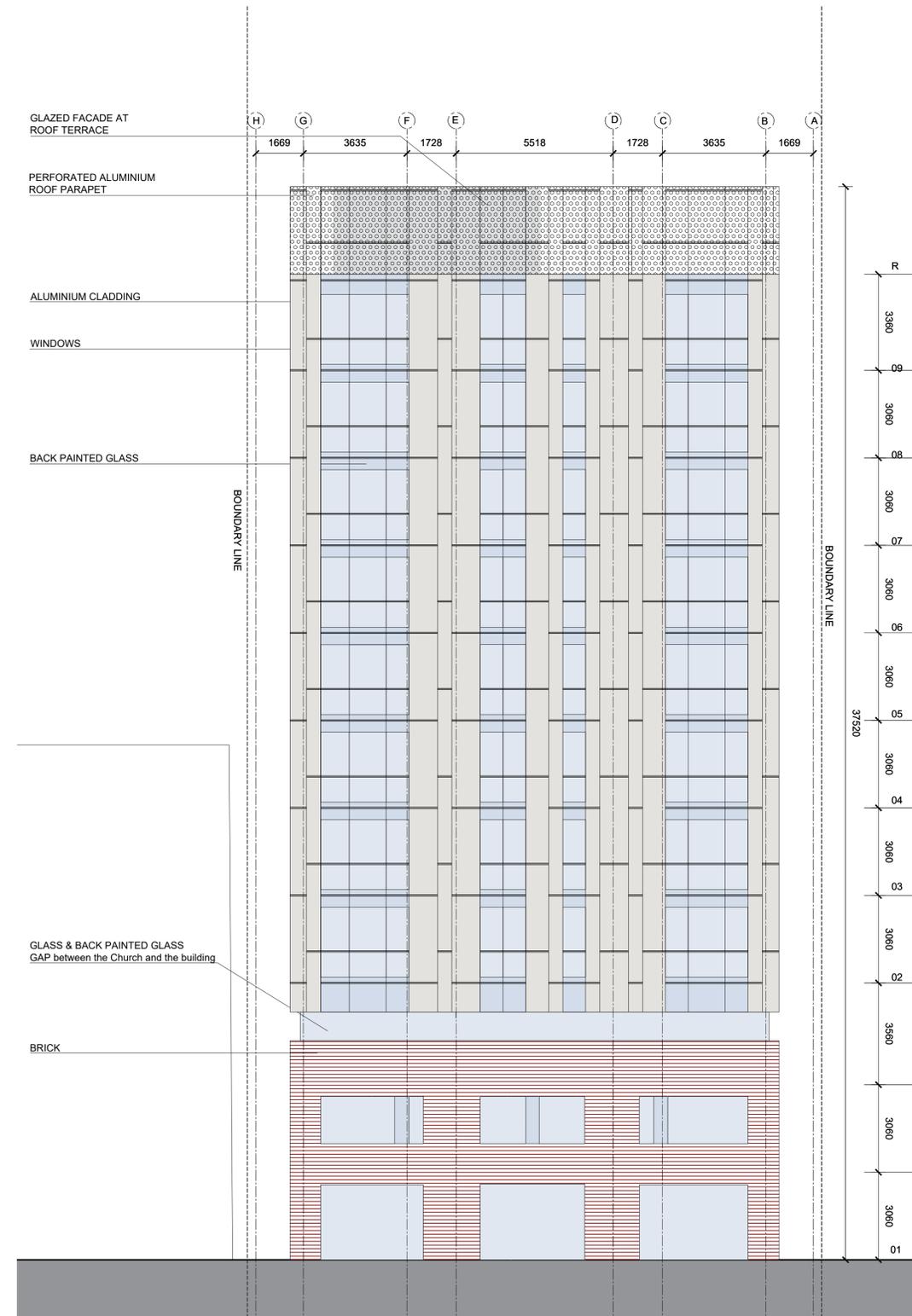
TITLE

**NORTH & SOUTH
ELEVATIONS**

PROJECT NO: 2023-0250
DRAWN: SPICE
APPROVED: SPICE
SCALE: 1 : 100



1 NORTH ELEVATION
A300 1:100



1 SOUTH ELEVATION
A300 1:100



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OTTAWA
ONTARIO, CANADA

PROJECT

254 ARGYLE

254 Argyle, Ottawa, Ontario

TITLE

EAST ELEVATION

PROJECT NO: 2023-0250
DRAWN: SPICE
APPROVED: SPICE
SCALE: 1 : 100





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OTTAWA
ONTARIO, CANADA

PROJECT

254 ARGYLE

254 Argyle, Ottawa, Ontario

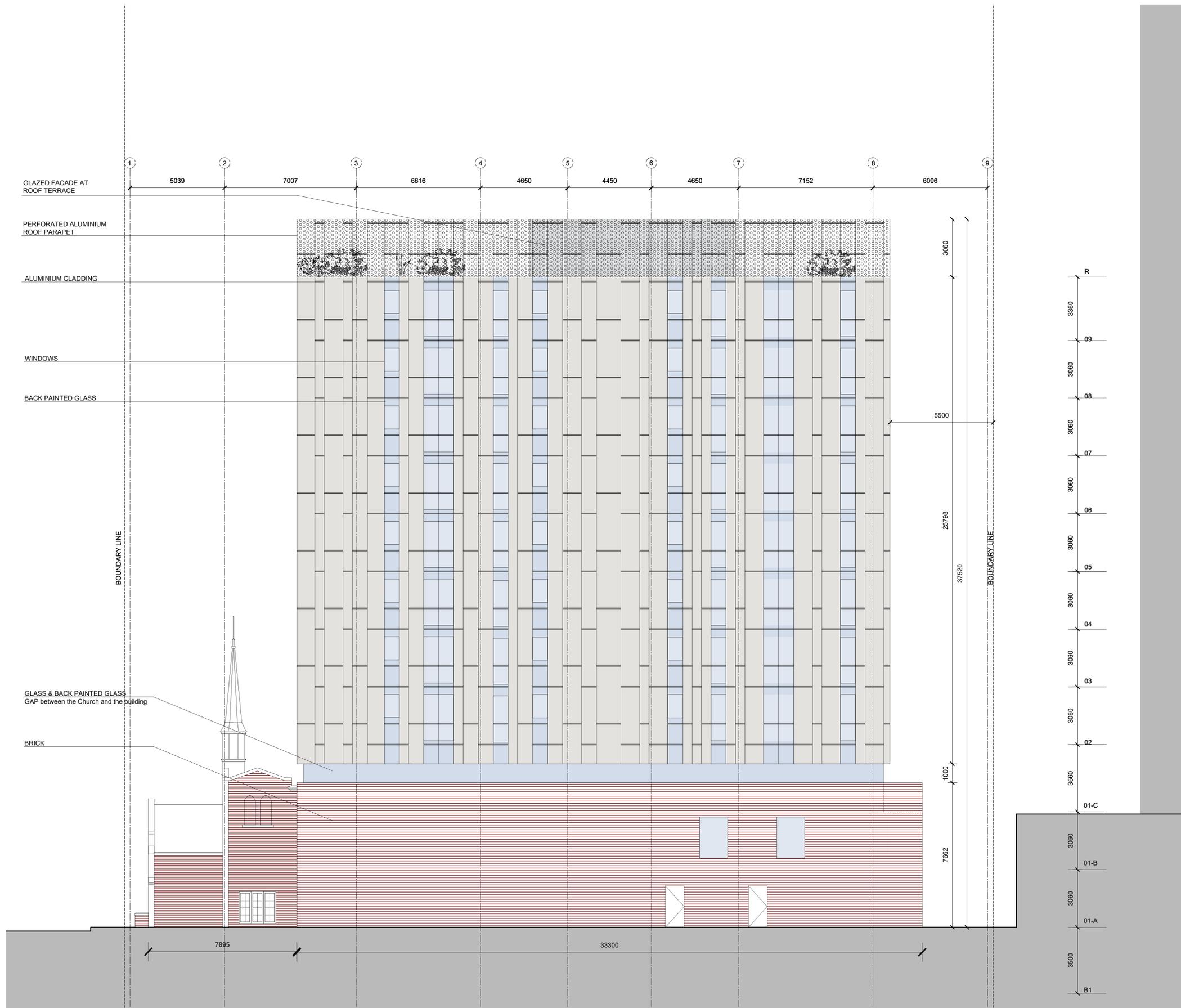
TITLE

WEST ELEVATION

PROJECT NO: 2023-0250
DRAWN: SPICE
APPROVED: SPICE
SCALE: 1 : 100

REV DRAWING NO.

2 A302



1 WEST ELEVATION
A203 1 : 100

